

*VILLAGE OF*  
**STEGER**  
**BOARD OF TRUSTEES**  
**REGULAR MEETING AGENDA**  
**3320 Lewis Avenue, Steger IL 60475**

**MAY 6, 2019 7:00pm**

- A. PLEDGE OF ALLEGIANCE
- B. ROLL CALL
- C. AWARDS, HONORS, AND SPECIAL RECOGNITIONS
  - 1. **Swearing In of elected Trustees: William Joyce, Mark Kozy and Tim Perchinski**
    - a. Appointment of full time Police Officer Ronald Nathan Woodson
    - b. Re-appointment of Joseph Kaiser to Steger Police Pension Trustee
    - c. Presentation from Patrick D'Heff with the Illinois Coalition of Local Governments.
- D. MINUTES of April 15<sup>TH</sup> Board Meeting.
- E. AUDIENCE PARTICIPATION
- F. REPORTS
  - 1. Administrator
  - 2. Department Heads
    - a. Public Infrastructure/Code Enforcement Director
    - b. Fire Chief
    - c. Police Chief
    - d. EMA Chief
    - e. Community Center Director
    - f. Housing and Community Development Director
  - 3. Attorney
  - 4. Treasurer
  - 5. Trustee/Liaison
  - 6. Clerk
  - 7. Mayor's Report

The Village of Steger, in compliance with the Americans With Disabilities Act, requests that persons with disabilities who require certain accommodations to allow them to observe and/or participate in this meeting or have questions about the accessibility of the meeting or facilities, contact the Human Resource Department at (708) 754-3395 to allow the Village to make reasonable accommodations for those persons

**MONDAY MAY 6, 2019 BOARD OF TRUSTEE REGULAR MEETING AGENDA**

- G. PAYING OF THE BILLS
- H. CORRESPONDENCE
- I. UNFINISHED BUSINESS:
- J. NEW BUSINESS:

**ORDINANCE NO. 1215**

**AN ORDINANCE APPROVING AND IMPOSING A COMMERCIAL OVERLAY DISTRICT IN THE VILLAGE OF STEGER, ILLINOIS**

**RESOLUTION NO. 1137**

**A RESOLUTION PROCLAIMING THE MONTH OF MAY AS CONSTRUCTION SAFETY MONTH FOR THE VILLAGE OF STEGER, ILLINOIS**

**RESOLUTION NO. 1138**

**A RESOLUTION AUTHORIZING THE ILLINOIS COALITION OF LOCAL GOVERNMENTS AND ITS AGENTS OR CONTRACTORS TO ACT AS THE THIRD-PARTY ADMINISTRATOR FOR THE COMPLIANCE REVIEW, COLLECTION AND DISTRIBUTION OF THE TWO PERCENT (2%) FOREIGN FIRE INSURANCE COMPANY TAX DUE TO THE VILLAGE OF STEGER, ILLINOIS**

- K. ADJOURNMENT

The Village of Steger, in compliance with the Americans With Disabilities Act, requests that persons with disabilities who require certain accommodations to allow them to observe and/or participate in this meeting or have questions about the accessibility of the meeting or facilities, contact the Human Resource Department at (708) 754-3395 to allow the Village to make reasonable accommodations for those persons

MINUTES OF THE REGULAR MEETING  
OF THE BOARD OF TRUSTEES OF THE  
VILLAGE OF STEGER, WILL & COOK  
COUNTIES, ILLINOIS

The Board of Trustees convened in regular session at 7:00 P.M. on this 15<sup>th</sup> day of April, 2019 in the Municipal Building of the Village of Steger with the Village President Kenneth A Peterson, Jr presiding. President Peterson led all in attendance in the Pledge of Allegiance to the flag.

Village Clerk Joseph M. Zagone, Jr. called the roll. The following Trustees were present, Joyce, Perchinski, Kozy, Lopez, Skrezyna, Buxton and Mayor Peterson.

Also present were: Village Administrator Mary Jo Seehausen, Police Chief Patrick Rossi, Fire Chief Nowell Fillion, Director of Public Infrastructure Dave Toepper, EMA Chief Tom Johnston, Community Center Director Diane Rossi and Housing and Community Development Director Alice Peterson.

**AWARDS, HONORS AND SPECIAL RECOGNITION**

None

**MINUTES**

Trustee Lopez made a motion to approve the minutes of the April 1st meeting as written. Trustee Joyce seconded the motion. Voice vote. All Trustees voted aye. Motion carried.

Trustee Lopez made a motion to approve the minutes of the March 28<sup>th</sup> Appropriations Public hearing as written. Trustee Kozy seconded the motion. Voice vote. All Trustees voted aye. Motion carried.

Trustee Joyce made a motion to approve the minutes of the March 28<sup>th</sup> special meeting as written. Trustee Perchinski seconded the motion. Voice vote. All Trustees voted aye. Motion carried.

**AUDIENCE PARTICIPATION**

Mary Laws of 3437 Jennifer Ct approached the board with several questions. First I want to know where we are with the red light study. Second is there anyone in charge of making sure that residents yards is up kept with all this garbage and stuff. Third, the band that was approved why do we pay most of the \$3250 and South Heights only pays \$500. How many are Steger residents? Last, the Public Hearing why were we not given information ahead?

Mayor Peterson addressed these concerns beginning with the red-light camera situation. The Village is doing more public research before signing a contract that would begin the actual study. As far as garbage we have Code Enforcement and Public Works watching so we can do what we can to stay on top of any problems. We rely on residents like you to let us know if there are situations, we might not be aware of. Community help is always welcome. Legal process that is needed to fix some situations can be a very long process. Regarding the Summer Band program, the majority of students in our district are from Steger, a small portion come from both South Chicago Heights and Park Forest. Steger has historically paid to support this band which is a Steger Municipal Band. The band participates in several Steger Community Events throughout the year. That is why Steger pays the bigger portion. A question regarding all programs being self sufficient refers to sports, and based on State Statutes, we can support a municipal band. Trustee Joyce also pointed out that all alumni of Steger Schools are also invited to participate in the band.

As for the Public Hearing, Ms. Walls felt she should have had more information regarding what was to be addressed so she as the public could be better prepared to address her concerns before votes are taken. Every effort was made to have all information available before the Public Hearing.

An additional question was asked regarding the red-light situation. Although the board approved moving forward with this, the Mayor has the ability to make sure all aspects of the project are in the best interest before signing the paperwork. If it is determined it is in the best interest of the community to reconsider the project, it can be brought back to the board for further discussion. Trustee Lopez added that the Mayor has done a great job of getting input from everybody. He does not just take it upon himself, he took the opinions of the whole board in delaying this decision.

## **REPORTS**

**Village Administrator Mary Jo Seehausen** No report.

**Director of Public Infrastructure Dave Toepper** Street Sweeping has been scheduled for the week of May 6<sup>th</sup>. The Village will also start flushing fire hydrants the first week of May. Signs will be posted in areas being flushed. Regarding Street Sweeping, the Mayor asked that when it is known, to post to the public which areas will be swept on which days.

**Fire Chief Nowell Fillion** The Steger Firefighters Association would like to thank everybody for their support. The Easter Egg Hunt was last Saturday, went very well. Additionally, another grant was opened up that we have applied for. A Brush ATV

vehicle that would be fully paid for if we get the grant. Our new Safety Officer had a winning grant in Sauk Village, so he used the same narrative for this grant. Chief Fillion went to Springfield last week to fight a bill that is trying to be passed regarding paying part-time union firefighters and providing benefits which would make it impossible for communities like ours to employ these individuals.

**Police Chief Patrick Rossi** On behalf of the Steger Police Department, while I was out of town, we had an eventful week. I want to thank EMA, the Fire Department, S.M.A.R.T. We had two accidents and a stabbing. Fortunately we were able to use these resources with these situations and a serious accident in South Heights. So I want to thank you for your assistance. I will refer to my weekly report for further information.

**EMA Chief Tom Johnston** No report.

**Community Center Director Diane Rossi** No report.

**Housing and Community Development Director Alice Peterson** No report.

**Village Attorney** not present

**Treasurer** No report.

### **TRUSTEES' REPORTS**

**Trustee Buxton** No report

**Trustee Skrezyna** No report

**Trustee Lopez** I want to thank the Fire Department for the Easter Egg Hunt. It was well run and well attended. Next I want to let everyone know that in an effort to save money, water bills will now be a postcard which saves time and paper in preparing and costs less in postage. Additionally, this past Friday we have gone to electronic time clock. Going paperless will save time and money in doing payroll.

**Trustee Kozy** No report.

**Trustee Perchinski** No report.

**Trustee Joyce** Asking all board members to check their information as listed on the Village website to make sure all information is up to date. I am also working with some organizations on upcoming events for the Village.

**VILLAGE CLERK** No report.

**PRESIDENT PETERSON** I would like to congratulate Trustees Kozy, Perchinski and Joyce on their re-election. We will be swearing them in in May once we get the certified results from the county. I want to add to Chief Rossi's comments, thanking our Police Department for the fantastic job they did during recent events.

**BILLS**

Trustee Skrezyna made a motion to approve the bills as listed. Trustee Buxton seconded the motion. Roll was called. The following Trustees voted aye; Joyce, Perchinski, Kozy, Lopez, Skrezyna and Buxton. Mayor Peterson voted aye. Motion carried.

**CORRESPONDENCE** – none

**UNFINISHED BUSINESS**- none

**NEW BUSINESS:**

**Ordinance 1214:**

Trustee Joyce made a motion to adopt, with the exception of Paragraph 12, Ordinance No 1214, AN ORDINANCE AMENDING CHAPTER 6, SECTIONS 6-36, 6-47, 6-71, 6-72, 6-73, 6-75, 6-76 AND 6-81, OF THE MUNICIPAL CODE OF STEGER, ILLINOIS REGARDING LIQUOR LICENSES AND THE INSERTION OF APPENDIX A TO THE MUNICIPAL CODE OF STEGER, ILLINOIS REGARDING LIQUOR LICENSE FEES FOR THE VILLAGE OF STEGER, ILLINOIS.

Trustee Skrezyna seconded the motion.

Roll was called. The following Trustees voted aye; Joyce, Perchinski, Kozy, Lopez, Skrezyna and Buxton. Mayor Peterson voted aye. Motion carried

Trustee Lopez questioned. Our annual Business/Liquor Licenses go from May to April of next year, so at 52,000, are we going to do a rolling 12? Mayor Peterson stated we will do a rolling 12 this first year.

**Resolution 1135:**

Trustee Perchinski made a motion to adopt Resolution No 1135, A RESOLUTION AUTHORIZING THE COUNTY OF COOK TO SUBMIT A NO CASH BID TO ACQUIRE A TAX CERTIFICATE OF PURCHASE FOR THE NONPAYMENT OF TAXES ON 5 UNOCCUPIED PROPERTIES VIA THE COOK COUNTY NO CASH BID PROGRAM. Trustee Joyce seconded the motion.

Roll was called. The following Trustees voted aye; Joyce, Perchinski, Kozy, Lopez, Skrezyna and Buxton. Mayor Peterson voted aye. Motion carried

Resolution 1136:

Trustee Skrezyna made a motion to adopt Resolution No 1136, A RESOLUTION AUTHORIZING THE COUNTY OF COOK TO SUBMIT A NO CASH BID TO ACQUIRE A TAX CERTIFICATE OF PURCHASE FOR THE NONPAYMENT OF TAXES ON 3 VACANT LAND PROPERTIES VIA THE COOK COUNTY NO CASH BID PROGRAM. Trustee Joyce seconded the motion.

Roll was called. The following Trustees voted aye; Joyce, Perchinski, Kozy, Lopez, Skrezyna and Buxton. Mayor Peterson voted aye. Motion carried

There being no further business,

Trustee Perchinski made a motion to adjourn the meeting. Trustee Buxton seconded the motion. Voice vote; all ayes. Motion carried.

Meeting adjourned at 7:29 pm.

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Kenneth A. Peterson, Jr., Village President

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Joseph M. Zagone, Jr., Village Clerk

SYS DATE:05/03/19

VILLAGE OF STEGER

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A / P W A R R A N T L I S T

[NW2]

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REGISTER # 899  
Friday May 3, 2019

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PAYABLE TO	INV NO	G/L NUMBER	CHECK DATE	CHECK NO DESCRIPTION	AMOUNT DIST
STEGER POLICE PENSION FUND					
PR042619-10-791	01-00-15401	POLICE PENSION		4084.64	
MAP CHAPTER 117					
PR042619-09-790	01-00-15705	UNION DUES		249.00	
EXCEL ELECTRIC INC					
123015	01-00-31401	ELECTRICAL MAINT		240.00	
EXCEL ELECTRIC INC					
123016	01-00-31401	ELECTRICAL MAINT		613.37	
EXCEL ELECTRIC INC					
123017	01-00-31401	MAINT. OTHER ELEC		3306.88	
COM ED					
84103419	01-00-33102	ELEC. TRAFFIC STR		1597.59	
NICOR GAS					
03168 04/19	01-00-33200	HEAT		15.79	
NICOR GAS					
03168419	01-00-33200	HEAT		15.79	
HERITAGE F/S, INC.					
35000064	01-00-33300	GASOLINE		19.57	
HERITAGE F/S, INC.					
35001020	01-00-33300	GASOLINE		75.56	
CINTAS CORPORATION LOCKBOX					
5013463099	01-00-33500	SHOP SUPPLIES		57.02	
HINCKLEY SPRINGS					
17155983 042419	01-00-33500	OFFICE SUPPLIES		23.10	
COMCAST					
54689 0419	01-00-33700	TELEPHONE		104.85	
VERIZON WIRELESS					
9827484838	01-00-33700	TELEPHONE		306.62	
PACE SUBURBAN BUS / V A N P O O L					
544092	01-00-33902	SENIOR BUS LEASE		100.00	
DEL GALDO LAW GROUP LLC					
22402	01-00-34100	LEGAL SERVICES		5906.25	
GIANOPOLUS, DENNIS G. P.C.					
17989	01-00-34100	LEGAL SERVICES		1980.00	
KANE MC KENNA AND ASSOCIATES INC					
16225	01-00-34102	PRO.SERVICES OTHE		450.00	
KNIGHT ENGINEERS & ARCHITECTS					
23291-03	01-00-34300	3400 S. CHICAGO R		593.39	
GW & ASSOCIATES, PC					
1904075	01-00-34500	CONSULTING SERVIC		4550.00	
LOCIS					
40637	01-00-38400	EMPLOYEE TRAINING		580.00	
LOCIS					
40638	01-00-38400	EMPLOYEE TRAINING		540.00	
EIGHNER'S FLOWERS-GIFTS					
00300958	01-00-38900	MISC. OTHER		84.95	
EIGHNER'S FLOWERS-GIFTS					
00300959	01-00-38900	MISC. OTHER		84.95	
EIGHNER'S FLOWERS-GIFTS					
00301067	01-00-38900	MISC. OTHERS		85.95	
TOTAL FOR FUND 01	DEPT. 00			25665.27	
ANDREWS PRINTING					
64183	01-01-33400	PRINTING SUPPLIES		119.00	



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TOTAL FOR FUND 01			DEPT. 01		119.00
VERIZON WIRELESS					
9827484838		01-07-33700		TELEPHONE	89.46
MUNICIPAL COLLECTION SERVICES					
014154		01-07-34902		ADMIN. BLDG MOVE/	117.60
TOTAL FOR FUND 01			DEPT. 07		207.06
ILLINOIS DEPARTMENT OF PUBLIC HEALTH					
8901-01,8901-02		01-20-31804		AMBULANCE MAINT	50.00
R & R MAINTENANCE FIRE & FLEET					
11562		01-20-31805		MAINT. VEHICLES	240.00
HERITAGE F/S, INC.					
35000064		01-20-33300		GASOLINE	179.96
HERITAGE F/S, INC.					
35000963		01-20-33300		DIESEL	284.92
HERITAGE F/S, INC.					
35001020		01-20-33300		GASOLINE	187.17
HERITAGE F/S, INC.					
35001190		01-20-33300		DIESEL	155.98
CINTAS CORPORATION LOCKBOX					
5013463099		01-20-33501		SHOP SUPPLIES	57.03
FERGUSON FACILITIES SUPPLY					
I4359790		01-20-33501		SHOP SUPPLIES	537.69
HINCKLEY SPRINGS					
1720146 031719		01-20-33501		SHOP SUPPLIES	75.07
MENARDS - MATTESON					
93326		01-20-33501		SHOP SUPPLIES	236.54
MENARDS - MATTESON					
93333		01-20-33501		SHOP SUPPLIES	189.43
COMCAST					
54689 0419		01-20-33700		TELEPHONE	39.95
VERIZON WIRELESS					
9827484838		01-20-33700		TELEPHONE	161.60
COMCAST					
54689 0419		01-20-33701		CABLE	147.17
CANON FINANCIAL SERVICES, INC					
19976875		01-20-33901		RENTAL	238.20
METRO PARAMEDIC SERVICES INC.					
020-01083		01-20-34250		AMBULANCE SERV.	22339.50
COUNTY OF WILL					
MAY 2019-001		01-20-34252		EASTCOM DISPATCH	4357.25
TRAINING CONCEPTS, INC.					
39311		01-20-37804		NEW TRAINING EQUI	44.00
FILLION, NOWELL					
FILLION 04/09		01-20-38840		N.FILLION	123.17
TOTAL FOR FUND 01			DEPT. 20		29644.63

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PAYABLE TO	INV NO	G/L NUMBER	CHECK DATE	CHECK NO DESCRIPTION	AMOUNT DIST
MERTS HVAC	190327-001	01-40-31100		BUILDING MAINT	1072.25
CHIEF/LAW ENFORCEMENT SUPPLY	171676	01-40-31800		EQUIPMENT MAINT	119.22
JAMES HERR & SONS	108287	01-40-31805		VEHICLE MAINT	42.76
JAMES HERR & SONS	108302	01-40-31805		VEHICLE MAINT	42.76
JAMES HERR & SONS	108326	01-40-31805		VEHICLE MAINT	237.55
JAMES HERR & SONS	108377	01-40-31805		VEHICLE MAINT	152.20
JAMES HERR & SONS	108667	01-40-31805		MAINT. VEHICLES	42.76
JAMES HERR & SONS	108707	01-40-31805		MAINT. VEHICLES	42.76
SOUTH HOLLAND PAPER CO.	429745	01-40-32900		OFFICE SUPPLIES	43.46
HERITAGE F/S, INC.	35000064	01-40-33300		GASOLINE	896.89
HERITAGE F/S, INC.	35001189	01-40-33300		GASOLINE	707.85
WALTON OFFICE SUPPLY	307781-0	01-40-33400		PRINTING SUPPLIES	200.04
A T & T	70875435930419	01-40-33700		TELEPHONE	153.03
COMCAST	947740419	01-40-33700		TELEPHONE	282.33
IL DEPT OF INNOVATION AND TECHNOLOGY	T1928059	01-40-33700		TELEPHONE	5.00
VERIZON WIRELESS	9827484838	01-40-33700		TELEPHONE	719.09
COMCAST	95698 04/19	01-40-33701		INTERNET	212.87
CINTAS CORPORATION LOCKBOX	5013463100	01-40-33900		ALL OTHER SUPPLIE	89.20
CANON FINANCIAL SERVICES, INC	19976875	01-40-33901		RENTAL	238.20
COUNTY OF WILL	MAY 2019-001	01-40-34252		EASTCOM DISPATCH	18441.33
THE EAGLE UNIFORM COMPANY INC	275664	01-40-37302		NEW UNIFORMS/ BAS	110.00
THE EAGLE UNIFORM COMPANY INC	276281	01-40-37302		NEW UNIFORMS/WOOD	1284.99
THE EAGLE UNIFORM COMPANY INC	276284	01-40-37302		NEW UNIFORMS/ WOO	1013.92
GALLS LLC	012308392	01-40-37302		D. BANICKI	119.99
MARLIN BUSINESS BANK	16918678	01-40-37902		COMPUTER HARDWARE	1344.74
BOREN, RYAN	BOREN 03/27/19	01-40-38500		BOOKS/MANUAL	119.90
BOREN, RYAN	BOREN CLASS	01-40-38700		POLICE TRAINING/B	1100.00
PROSHRED SECURITY	100127713	01-40-38917		RECORD DISPOSAL	50.00
TOTAL FOR FUND 01		DEPT. 40			28885.09

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VERIZON WIRELESS	9827484838	01-42-33700		TELEPHONE	19.66	
TOTAL FOR FUND 01		DEPT. 42			19.66	
TOTAL FOR FUND 01					84540.71	
PETTY CASH	042319	03-30-33500		OFFICE SUPPLIES	29.99	
WALTON OFFICE SUPPLY	307755-0	03-30-33500		OFFICE SUPPLIES	48.84	
A T & T	708754369004 04	03-30-33700		TELEPHONE	15.15-	
COMCAST	31978 0419	03-30-33700		TELEPHONE	107.37	
VERIZON WIRELESS	9827484838	03-30-33700		TELEPHONE	53.45	
COMCAST	31978 0419	03-30-33701		CABLE/INTERNET	139.75	
KONICA MINOLTA BUSINESS SOLUTIONS	9005587108	03-30-33703			33.28	
UNIFIRST CORPORATION	062 0347707	03-30-33703		MAINT. CONTRACTS	28.65	
PROTECTION 1 / ADT	040419	03-30-33704		SECURITY	36.21	
TOTAL FOR FUND 03		DEPT. 30			462.39	
CLARKES GARDEN CENTER	041019	03-31-31300		MAIN. PARKS/GAZEB	210.00	
CLARKES GARDEN CENTER	041019MW	03-31-31300		MAINT.PARKS/PLAYG	210.00	
CLARKES GARDEN CENTER	041119	03-31-31300		MAIN. PARKS/ PLAY	210.00	
NICOR GAS	10004 04/19	03-31-33200		HEAT	164.46	
NICOR GAS	510001 04/19	03-31-33200		HEAT	410.89	
TOTAL FOR FUND 03		DEPT. 31			1205.35	
TOTAL FOR FUND 03					1667.74	
LEONA BERNER	042919	06-00-25100		WATER REFUND L. B	43.46	
TENISHA BREWER	042919	06-00-25100		WATER REFUND T. B	9.20	
JEREMY HADDON	042919	06-00-25100		WATER REFUND J. H	148.10	

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KENISHA JOHNSON	042919	06-00-25100		WATER REFUND K. J	87.16
KEYSAY LLC	042919	06-00-25100		WATER REFUND KEYS	170.89
NICHOLAS PRIEBE	042919	06-00-25100		WATER REFUND N. P	12.20
KARLA SMITH	042919	06-00-25100		WATER REFUND K. S	19.34
ERIC GUT C/O TUG PROPERTIES INC.	042919	06-00-25100		WATER REFUND E. G	12.95
LOUIS WORTEL	042919	06-00-25100		L.WORTEL REFUND	144.48
WRI PROPERTY MANAGEMENT LLC	042919	06-00-25100		WATER REFUND WRI	148.10
ALYSSA ZAGONE	042919	06-00-25100		WATER REFUND A. Z	30.88
GALLAGHER MATERIALS CORP	9725	06-00-31204			339.76
GALLAGHER MATERIALS CORP	9779	06-00-31204			310.00
VORTEX TECHNOLOGIES	5998	06-00-31501		MAINT. WELLS	4237.32
M&J UNDERGROUND, INC	M19-0129	06-00-31504		MAINT. MAIN	3394.50
M&J UNDERGROUND, INC	M19-0130	06-00-31504		MAINT. MAIN	2901.50
UNDERGROUND PIPE & VALVE CO	035173-01	06-00-31504		MAINT. MAIN	203.00
T.R.L. TIRE SERVICE CORP	22099	06-00-31805		MAINT. VEHICLES	28.89
COMED	76056 04/19	06-00-33100		ELECTRIC	1166.82
COMED	67036419	06-00-33101		ELEC. WATER PUMPI	.19
NICOR GAS	10001 04/19	06-00-33200		HEAT	249.72
NICOR GAS	10001 0419	06-00-33200		HEATING	89.83
NICOR GAS	10003 04/19	06-00-33200		HEAT	378.54
NICOR GAS	10003419	06-00-33200		HEATING	378.54
HERITAGE F/S, INC.	35000064	06-00-33300		GASOLINE	123.20
HERITAGE F/S, INC.	35000963	06-00-33300		DIESEL	284.93
HERITAGE F/S, INC.	35001020	06-00-33300		GASOLINE	194.65
HERITAGE F/S, INC.	35001189	06-00-33300		GASOLINE	384.83
HERITAGE F/S, INC.	35001190	06-00-33300		DIESEL	155.98
CINTAS CORPORATION LOCKBOX	5013463097	06-00-33501		SHOP SUPPLIES	111.37
HINCKLEY SPRINGS	17155979 042419	06-00-33501		SHOP SUPPLIES	27.72
UNIFIRST CORPORATION	0620345936	06-00-33501		SHOP SUPPLIES	27.98

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VERIZON WIRELESS	9827484838	06-00-33700		TELEPHONE	360.28
REPUBLIC SERVICES #721	0721-006125974	06-00-33710			58999.03
UNIFIRST CORPORATION	0620346001	06-00-33800		UNIFORM SERVICE	73.60
AIDE RENTALS & SALES	113636-2	06-00-33901		RENTAL-EQUIP/TOOL	87.36
AIDE RENTALS & SALES	113795-1	06-00-33901		RENTAL-EQUIP/TOOL	10.00
GW & ASSOCIATES, PC	1904075	06-00-34400		AUDITING	450.00
SUBURBAN LABORATORIES INC	164168(2)	06-00-34800			100.00
EJ USA INC.	110190024570	06-00-37505		NEW-HYDRANTS	5868.00
ROY STONE	04242019	06-00-38900		REIMBURSEMENT R.S	106.99
TOTAL FOR FUND 06		DEPT. 00			83871.29
TOTAL FOR FUND 06				83871.29	
COMPLETE DIESEL CARE INC	6056	07-00-31805		MAINT. VEHICLES	985.04
COMPLETE DIESEL CARE INC	6057	07-00-31805		MAINT. VEHICLES	407.25
COMPLETE DIESEL CARE INC	6058	07-00-31805		MAINT. VEHICLES	662.58
HERITAGE F/S, INC.	35000064	07-00-33300		GASOLINE	123.20
HERITAGE F/S, INC.	35000449	07-00-33300		OIL	595.85
HERITAGE F/S, INC.	35000963	07-00-33300		DIESEL	284.92
HERITAGE F/S, INC.	35001020	07-00-33300		GASOLINE	194.65
HERITAGE F/S, INC.	35001189	07-00-33300		GASOLINE	384.83
HERITAGE F/S, INC.	35001190	07-00-33300		DIESEL	155.98
CINTAS CORPORATION LOCKBOX	5013463097	07-00-33501		SHOP SUPPLIES	111.37
HINCKLEY SPRINGS	17155979 042419	07-00-33501		SHOP SUPPLIES	27.71
SOUTH HOLLAND PAPER CO.	419476(2)	07-00-33501		SHOP SUPPLIES	32.43
UNIFIRST CORPORATION	0620345936	07-00-33501		SHOP SUPPLIES	27.98
UNIFIRST CORPORATION	0620346001	07-00-33800		UNIFORM SERVICE	73.60
TOTAL FOR FUND 07		DEPT. 00			4067.39

SYS DATE:05/03/19

VILLAGE OF STEGER  
A / P W A R R A N T L I S T  
REGISTER # 899  
Friday May 3, 2019

SYS TIME:14:27  
[NW2]

DATE: 05/03/19

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PAYABLE TO	INV NO	G/L NUMBER	CHECK DATE	CHECK NO DESCRIPTION	AMOUNT DIST
TOTAL FOR FUND 07				4067.39	
COM ED	99093419	08-00-33102		ELEC. TRAFFIC STR	3893.49
COMED	24002 04/19	08-00-33102		ELECRICITY	130.21
MIDWEST SALT	P445150	08-00-33910		SALT	5283.95
KNIGHT ENGINEERS & ARCHITECTS	22820-19	08-00-34300		ENGINEERING FEES	600.25
KNIGHT ENGINEERS & ARCHITECTS	23831-25	08-00-34300		ENGINEERING FEES	872.88
TOTAL FOR FUND 08			DEPT. 00		10780.78
TOTAL FOR FUND 08				10780.78	
SAM'S CLUB/SYNCHRONY BANK	68249 0419	13-50-33930		CONCESSION STAND	426.09
TOTAL FOR FUND 13			DEPT. 50		426.09
SAM'S CLUB/SYNCHRONY BANK	041019	13-55-33930		VOLLEYBALL CONCES	83.54
TOTAL FOR FUND 13			DEPT. 55		83.54
TOTAL FOR FUND 13				509.63	
ILLINOIS COUNTIES RISK MANAGMENT TRUST	RCB000000021953	15-00-36100		CASUALTY	25285.38
ILLINOIS COUNTIES RISK MANAGMENT TRUST	RCB000000021954	15-00-36200		WORKMANS COMPENSA	29889.00
VISION SERVICE PLAN (IL)	806724987	15-00-36901		HEALTH INSURANCE	679.32
HUMANA DENTAL INSURANCE COMPANY	181931970	15-00-36903			3166.92
TOTAL FOR FUND 15			DEPT. 00		59020.62
TOTAL FOR FUND 15				59020.62	
GENUINE PARTS COMPANY INC	1990-592420	16-00-31805		MAINT. VEHICLES	29.75
GENUINE PARTS COMPANY INC	1990-594736	16-00-31805		MAINT. VEHICLES	49.74

SYS DATE:05/03/19

VILLAGE OF STEGER  
A / P W A R R A N T L I S T  
REGISTER # 899

SYS TIME:14:27  
[NW2]

DATE: 05/03/19

Friday May 3, 2019

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PAYABLE TO	INV NO	G/L NUMBER	CHECK DATE	CHECK NO	DESCRIPTION	AMOUNT	DIST
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HERITAGE F/S, INC.	35000064	16-00-33300			GASOLINE	34.19	
HERITAGE F/S, INC.	35001020	16-00-33300			GASOLINE	113.22	
HERITAGE F/S, INC.	35001189	16-00-33300			GASOLINE	114.90	
MENARDS - MATTESON	98375	16-00-33501			SHOP SUPPLIES	95.10	
COMCAST	72350419	16-00-33700			TELEPHONE	81.05	
VERIZON WIRELESS	9827484838	16-00-33700			TELEPHONE	118.64	
COMCAST	72350419	16-00-33701			CABLE	89.90	

TOTAL FOR FUND 16		DEPT. 00				726.49	
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TOTAL FOR FUND 16						726.49	
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KNIGHT ENGINEERS & ARCHITECTS	22328-13	25-10-30000			PROJECT V.H./POLI	1272.64	
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TOTAL FOR FUND 25		DEPT. 10				1272.64	
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TOTAL FOR FUND 25						1272.64	
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** TOTAL CHECKS TO BE ISSUED						246457.29	
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01	CORPORATE					84540.71	
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03	PLAYGROUND/RECREATION					1667.74	
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06	WATER/SEWER FUND					83871.29	
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07	ROAD & BRIDGE					4067.39	
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08	MOTOR FUEL TAX					10780.78	
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13	BOOSTER CLUB					509.63	
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15	LIABILITY INSURANCE FUND					59020.62	
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16	H.S.E.M.					726.49	
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25	CAPITAL PROJECTS					1272.64	
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TOTAL FOR REGULAR CHECKS:						242,123.65	
TOTAL FOR DIRECT PAY VENDORS:						4,333.64	

SYS DATE:05/03/19

VILLAGE OF STEGER

SYS TIME:14:27

DATE: 05/03/19

A / P W A R R A N T L I S T  
Friday May 3, 2019

[NW2]

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A/P MANUAL CHECK POSTING LIST  
POSTINGS FROM ALL CHECK REGISTRATION RUNS(NR) SINCE LAST CHECK VOUCHER RUN(NCR)  
=====

PAYABLE TO	INV NO	REG NO G/L NUMBER	CHECK DATE	CHECK NO DESCRIPTION	AMOUNT	DIST
JONES, ERNEST		780	04/30/19	8975	950.00	
	040219	13-50-38903		ERNEST JONES REIM	385.00	
	040219	13-50-38903		ERNEST JONES REIM	565.00	
TOTAL FOR FUND 13			DEPT. 50		950.00	
RANDY HUTCHISON		780	04/30/19	8974	100.00	
	041419	13-55-29606		VOLLEYBALL RAFFLE	100.00	
NANCY PIERCE		780	04/30/19	8973	50.00	
	041419	13-55-29606		VOLLEYBALL RAFFLE	50.00	
TOTAL FOR FUND 13			DEPT. 55		150.00	
TOTAL FOR FUND 13					1100.00	
** TOTAL MANUAL CHECKS LISTED					1100.00	
** TOTAL OF ALL LISTED CHECKS					247557.29	



**ORDINANCE NO. 1215**

STATE OF ILLINOIS     )  
                                  )  
COUNTIES OF COOK     )  
                                  )  
                                  )  
                                  )  
                                  )  
                                  )

**AN ORDINANCE APPROVING AND IMPOSING A COMMERCIAL OVERLAY DISTRICT IN THE VILLAGE OF STEGER, ILLINOIS**

**WHEREAS**, the Village of Steger, Counties of Cook and Will, State of Illinois (the "Village") is a duly organized and existing municipality and unit of local government created under the provisions of the laws of the State of Illinois, and is operating under the provisions of the Illinois Municipal Code, and all laws amendatory thereof and supplementary thereto, with full powers to enact ordinances and adopt resolutions for the benefit of the residents of the Village; and

**WHEREAS**, the President and the Board of Trustees of the Village (the "Village Board" and with the President, the "Corporate Authorities") are committed to the health, safety and general welfare of the residents of the Village; and

**WHEREAS**, the the Village of Steger Combined Planning and Zoning Board of Appeals (the "PZBA") held a hearing, pursuant to proper notice, at which testimony was given regarding the imposition of a commercial overlay district in the Village's commercial corridor (the "Overlay District"), a copy of which is attached hereto and incorporated herein as Exhibit A.

**WHEREAS**, based on the testimony given at said public hearing, the PZBA made certain findings of fact and conclusions with respect to the Overlay District and made a recommendation to the Corporate Authorities that the Overlay District be approved (collectively, the "Findings and Recommendation"); and

**WHEREAS**, a copy of the Findings and Recommendation is attached hereto as Exhibit B and is incorporated herein by reference as if set forth in full; and

**WHEREAS**, in light of the above, the Corporate Authorities have determined that the approval and imposition of the Overlay District is in furtherance of the public health, safety and welfare of the Village and its residents;

**NOW, THEREFORE, BE IT ORDAINED** by the President and the Board of Trustees of the Village of Steger, Counties of Cook and Will, State of Illinois, as follows:

**SECTION 1: Recitals.**

The foregoing recitals are herein incorporated and made a part of this Ordinance as if fully set forth herein.

**SECTION 2: Approval and Imposition of the Overlay District.**

The Findings and Recommendation of the PZBA are hereby adopted and the Overlay District is hereby approved and imposed.

**SECTION 3: Severability.**

The provisions of this Ordinance are hereby declared to be severable and should any provision of this Ordinance be determined to be in conflict with any law, statute or regulation by a court of competent jurisdiction, said provision shall be excluded and deemed inoperative, unenforceable and as though not provided for herein, and all other provisions shall remain unaffected, unimpaired, valid and in full force and effect.

**SECTION 4: Superseder.**

All code provisions, ordinances, resolutions, rules and orders, or parts thereof, in conflict herewith are, to the extent of such conflict, hereby superseded.

**SECTION 5: Publication.**

A full, true and complete copy of this Ordinance shall be published in pamphlet form or in a newspaper published and of general circulation within the Village as provided by the Illinois Municipal Code, as amended.

**SECTION 6: Effective Date.**

This Ordinance shall be effective and in full force immediately upon passage and approval.

(REMAINDER OF THIS PAGE INTENTIONALLY LEFT BLANK)

PASSED this \_\_\_\_ day of May 2019.

\_\_\_\_\_  
Joseph M. Zagone Jr., Village Clerk

APPROVED this \_\_\_\_ day of May 2019.

\_\_\_\_\_  
Kenneth A. Peterson, Jr., Village President

Roll call vote:  
Voting in favor:  
Voting against:  
Not voting:

**EXHIBIT A**

**VILLAGE OF STEGER (the "Village")  
PLANNING & ZONING BOARD OF APPEALS  
RECOMMENDATION**

**RE: *Commercial Overlay District.***

President and Board of Trustees:

The Planning & Zoning Board of Appeals met on Thursday, January 10, 2019 and discussed the proposed imposition of a commercial overlay district, within the Village of Steger (the "Overlay District"). Proper notice of the meeting was provided in accordance with the Zoning Ordinance and applicable state law.

During the public hearing, testimony and evidence were introduced establishing that:

- (a) the Overlay District will not endanger the public safety; and
- (b) the Overlay District will not be detrimental to the public welfare or injurious to other property or improvements

In light of the testimony introduced at the public hearing, the Planning and Zoning Board of Appeals found that the Overlay District is in furtherance of the public interest and necessary for the health, safety, and welfare of the Village and its residents.

It is the recommendation of the Planning and Zoning Board of Appeals to approve and impose the ***Overlay District requested pursuant to the Comprehensive Amendment to the Zoning Ordinance of the Village of Steger, Illinois.***



Chairman  
Planning & Zoning Board of Appeals  
Village of Steger

**EXHIBIT B**

# DESIGN GUIDELINES



APRIL 2018



for the **ZONING OVERLAY REDEVELOPMENT PROJECT AREAS**  
Steger, Illinois



## About the Cover

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### **Cover Illustration**

Steger, Illinois circa 1961. 34<sup>th</sup> Street looking east.

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**NOTE:** The Design Guidelines for the Zoning Overlay Redevelopment Project Area are available at the Steger Village Hall, 8320 Lewis Avenue, Steger, Illinois 60475.



- I. INTRODUCTION
  - Intent of the Design Guidelines
  
- II. HISTORICAL AND ARCHITECTURAL HERITAGE
  - A. Brief history of Steger
  
- III. QUALITIES OF HISTORIC ARCHITECTURE
  - A. Massing
  - B. Scale
  - C. Proportion
  - D. Facade
  - E. Rhythm
  - F. Building Materials
  
- IV. DESIGN GUIDELINES
  - A. GENERAL GUIDELINES
    - 1. Preserving Architectural Character
    - 2. Building Changes
    - 3. Primary Facades and Secondary Facades
    - 4. Repair and Restoration versus Replacement
    - 5. Reversibility
    - 6. Deteriorated and Missing Components
  - B. GUIDELINES TO PRESERVE AND PROTECT HISTORIC BUILDINGS
    - 1. Cleaning Historic Structures
    - 2. Historic Masonry
      - 2.1 Repointing
      - 2.2 Paint Removal
    - 3. Stucco (Cement/Lime Plaster)
      - 3.1 Simulated Brick and Stone Facings
    - 4. Exterior Colors and Color Schemes
    - 5. Mechanical, Electrical, and Communications Equipment
    - 6. Historic Windows and Doors
      - 6.1 Replacement Windows
    - 7. Street-Address Numerals
    - 8. New Openings in Existing Walls
    - 9. Preserving Historic Storefronts
    - 10. Building Accessibility
    - 11. Signage
    - 12. Lighting
  - C. GUIDELINES FOR NEW CONSTRUCTION
    - 1. Visual Relationship Between the Old and New
    - 2. Scale and massing of Large Buildings
    - 3. Replicating Historic Structures
    - 4. Building Placement and Setbacks
    - 5. Building Height and Shape
    - 6. Building Width
    - 7. Façade, Relationship of its Parts to the Whole

# Village of Steger Zoning Overlay Design Guidelines

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8. Roof Form and Materials
  9. Exterior Wall Materials
  10. Windows and Doors
- D. GUIDELINES FOR PROTECTING STREETSCAPES
1. Retaining Walls
  2. Sidewalk Paving
  3. Curb Cuts, Driveways, and Off-Street Parking
  4. Plant Materials
  5. Landscape Planters and Window Boxes
  6. Street Furniture
- V. THE DESIGN REVIEW PROCESS
- A. Eligible Project Guidelines
  - B. Application Submission

## APPENDICIES

- A. Proposed Boundary Map
- B. Glossary of Architectural Terms



## INTRODUCTION

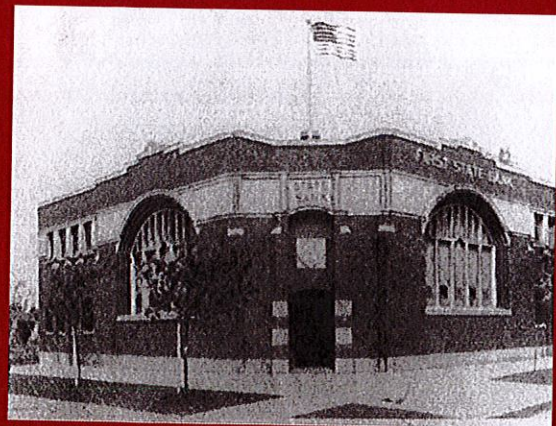
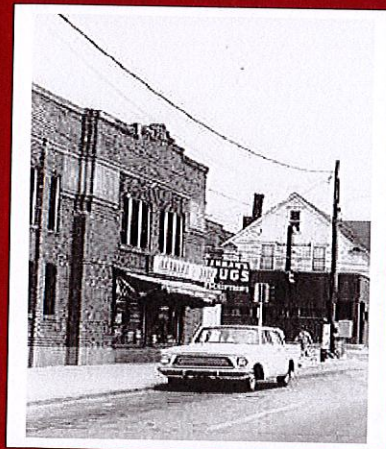
### Intent of the Design Guidelines:

These design guidelines provide recommendations for the protection, enhancement, and preservation of buildings, structures, parking lots, and areas within the Village of Steger's Zoning Overlay Redevelopment Project Areas. Property owners, architects, and contractors are encouraged to refer to these basic design principles prior to initiating any rehabilitation projects, new construction, or property improvements. By focusing on the quality and compatibility of improvements, the Village of Steger acknowledges their understanding that building improvements that follow appropriate design standards will have a beneficial impact on the appearance and the economic value of individual buildings and the surrounding environment.

Proven economic benefits to communities that have followed design guidelines include:

- A positive impact on a property owner's investment by enhancing and stabilizing property values;
- A reinforced sense of community and a pleasing environment for residents by preserving and enhancing the community's identity and uniqueness;
- An improved visual appearance that helps to convey an image of quality to potential clients and customers.

It should be emphasized that these design guidelines are for general guidance only. Projects will be reviewed and considered individually on their own merits, as appropriate, by the Village of Steger's **Design Review Commission**. Projects within the Zoning Overlay Redevelopment Project Areas are also reviewed and considered using area-specific criteria adopted by the Village of Steger's **Design Review Commission** to ensure each project will enhance the character of the Zoning Overlay Redevelopment Project Areas. In addition, all building improvements and new construction will be subject to the appropriate City codes and ordinances.





## HISTORICAL AND ARCHITECTURAL HERITAGE

### Brief History of Steger:

Steger was founded in 1891. In honor of the 1893 World's Columbian Exposition (which the City of Chicago had been preparing to host since 1889), the town was initially named Columbia Heights. The town was renamed Steger in 1896 after John Valentine Steger who established the Steger Piano factory there.

In 1916, Steger was home to the largest piano factory in the world, employing 1,400 people and producing more than 100 pianos per day. At one point, Steger was considered by some to be the piano capital of the world and the Steger community flourished along with the Steger Piano factory.

The 1920's marked the beginning of the modern music era. With the appearance of independent record labels, the existing phonograph, and the first commercial public radio stations, the taste for piano music diminished. The Steger Piano factory closed its doors in 1928 due to the decline in piano sales.

With the demise of the piano factory, the community was no longer flourishing. Building along the main commercial thoroughfares (Chicago Road and Union Avenue) became a stalemate.

As the existing architectural building fabric fell into disrepair, deteriorated, burned, and was subsequently demolished, excessive vacancies were created. Building development that took place thereafter and prior to 1960 did so without the benefit or guidance of a master plan for the community. Furthermore, Steger is impacted by the many issues associated with a lack of master planning and inappropriate land use because much of the currently existing architectural building fabric was developed in an era before this type of modern planning was practiced by the Village of Steger.

The objective of the Design Guidelines is to enrich the existing architectural building fabric and attract new land usage in compliance with the current planning standards of the Village of Steger.



J. V. STEGER.



Chicago Road looking South in front of Central





## QUALITIES OF HISTORIC ARCHITECTURE

### Massing:

Massing considers the overall volume or size of a building. Compatible designs need not be created through replication but should reflect a consideration of the massing of nearby buildings. Massing influences the sense of space which the building encloses and helps define both exterior and interior space

### Scale:

The scale of all new buildings should complement that of existing buildings. Scale should consider width, the number of bays and height in terms of both the number of stories and the height of the streetscape.

### Proportion:

The average height and width of the adjacent buildings typically determines the general proportions of the façade. While infill openings may be several lots wide, the design should attempt to break up such a mass into bays either by articulating the façade or through changes in material. However, care should be taken to keep the amount of different materials used on the building to a minimum as a large variation can detract from the overall design.

### Facade:

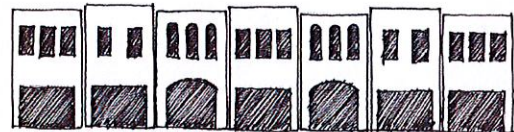
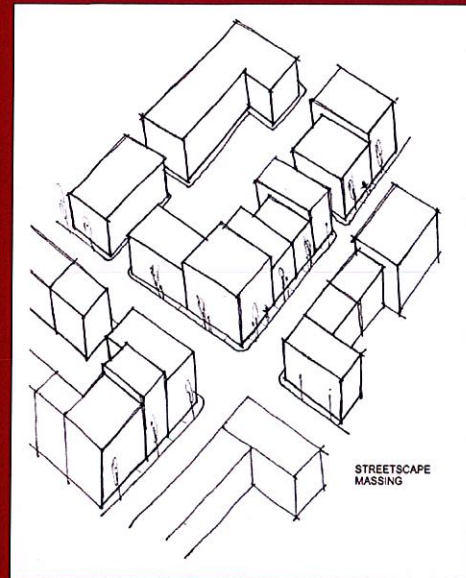
Downtown Façade designs vary widely but are generally consistent in terms of a few basic elements. In addition to a consistent street frontage, downtown facades typically feature a storefront at the base, strong horizontal expression lines at the mid area, and some type of cornice termination at the top.

### Rhythm:

A streetscape taken as a whole has visual rhythm. This does not mean that every building has the same height, width, and window pattern. The rhythm comes from the variations of height, width, and openings within a general framework. New design should fit into the established rhythm of the streetscape.

### Building Materials:

The use of appropriate building materials is important in establishing compatibility between historic restoration, rehabilitation, and new construction. The material most common to the building styles in the Village of Steger is brick. Whenever possible, original building materials should be maintained and restored.



# Village of Steger Zoning Overlay Design Guidelines



## DESIGN GUIDELINES

### GENERAL GUIDELINES

The following guidelines are applicable to all existing buildings contributing historically within the Village of Steger Zoning Overlay Redevelopment Project Areas.

#### Preserving Architectural Character:

An important objective is the preservation of a building's character. Architectural character features are the details that make an historic building distinctive. Character is determined visually and differs significantly from architectural style. Defining character details include aspects such as a building's location, shape, materials, craftsmanship, degree of articulation, decorative elements, and interior spaces.

#### Building Changes:

Significant changes to a structure that contribute to the Village of Steger's History Should be preserved. Changes to a building structure that deter from the buildings original character and do not contribute historically should be reversed.

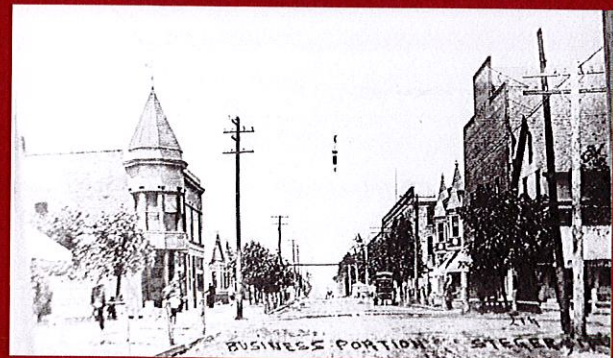
#### Primary and Secondary Facades:

##### Primary Facades:

Original buildings in the Zoning Overlay Redevelopment Project Areas were commercial in nature, were built with common abutting walls and typically the primary façade faced the street. The architectural character of the Primary façade was typically more elaborate since is the most visible part of the building from the street. Buildings should have a designated primary façade. The main entrance to the building should be on the primary façade, oriented toward the street it serves. Corner buildings typically have a primary and a secondary façade (In some instances corner buildings have their primary entrance at the corner on a diagonal, or have to primary entries)

##### Secondary Facades:

A secondary façade will be considered as any façade not facing the street, not having elaborate ornamentation and lacking in high quality materials. Where secondary facades are visible from the public right-of-way they should be treated in the same manner as the primary façade.



## Village of Steger Zoning Overlay Design Guidelines



### Repair and Restoration vs. Replacement:

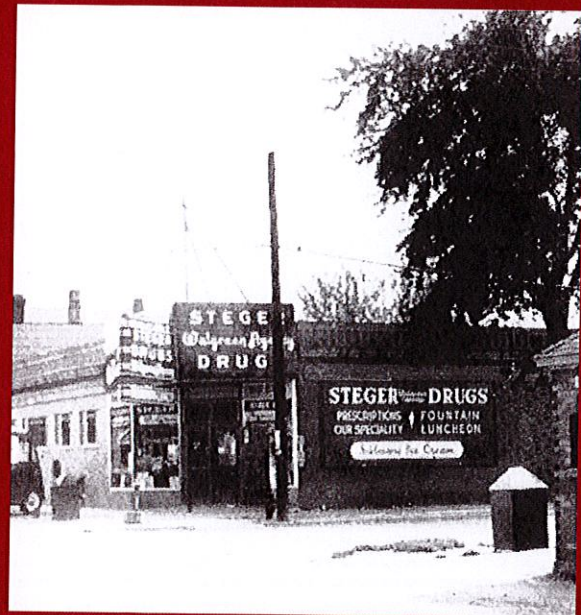
In existing buildings contributing to the history of the Village of Steger it is preferable to retain the existing original materials and significant architectural components wherever possible, by repairing, stabilization or replacing them with matching new materials.

### Reversibility:

Changes not original to buildings should be reversed whenever possible.

### Deteriorated and Missing Components:

Deteriorated or missing significant architectural components should be replaced or replaced with matching new components in material and shape. Efforts should be made to research the material and its original composition and fabrication methods prior to reproduction.







**GUIDELINES TO PRESERVE AND PROTECT EXISTING HISTORICALLY SIGNIFICANT BUILDINGS:**

**Cleaning:**

Existing masonry should be cleaned in a manner that will not damage existing old masonry. Hand scrubbing and steam cleaning are the methods most gentle on existing masonry. Chemical cleaning is also considered safe on existing masonry. Abrasive methods such as sand blasting can permanently damage old masonry and should be avoided.

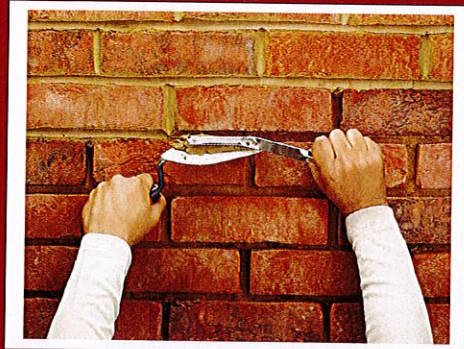
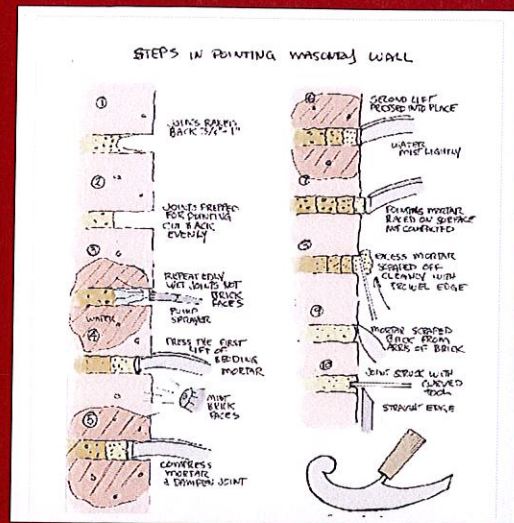
**Historic Masonry:**

**Repointing:**

When repointing, it is imperative to match the joint size, profile, color, ingredients porosity and permeability of the original joint mortar. Using an incompatible mortar for repointing may result in spalling brick, efflorescence, and accelerated deterioration. Repointing should be done on mortar joints when sufficient mortar is missing to allow water to stand in the joint. The use of pneumatic hammers, grinders and power equipment to remove mortar can damage adjacent brick. Enlist the services of a qualified professional for this work.

**Paint Removal:**

The original appearance of masonry surfaces shall be retained, including early signage wherever possible. Some brick walls were painted originally for practical and aesthetic reasons. Removal of paint from historic masonry is not appropriate since it can cause irreversible damage to the masonry. If an owner desires to remove paint from brick surfaces it can be removed once testing is done and that the determined process will not damage the brick itself. Unpainted masonry should not be painted or sealed. This will change the drainage function of the wall and will result in accelerated deterioration. Murals on masonry will not be allowed within the Zoning Overlay Redevelopment Project Areas.



# Village of Steger Zoning Overlay Design Guidelines



## Exterior Color and Color Schemes:

Painting can be one of the most dramatic and least expensive improvements to a commercial building. Painting is an essential part of normal building maintenance and, if carefully placed, colors can accentuate architectural details and visually unite groups of separate buildings. Yet, too many colors on the wrong features will detract from the building's character and that of its neighbors.

### Base color:

Typically matches the natural color of building materials, such as brick or stone.

### Trim color:

Used for framing the façade, doors and windows, and the primary color of the cornice and major architectural elements. If used, minor trim colors are darker and used on doors and window sashes.

### Accent color:

Used minimally to highlight intricate architectural details; brick, terra-cotta, ceramic tile, stone, and glass should not be painted.

### Existing Roof Lines and Parapets:

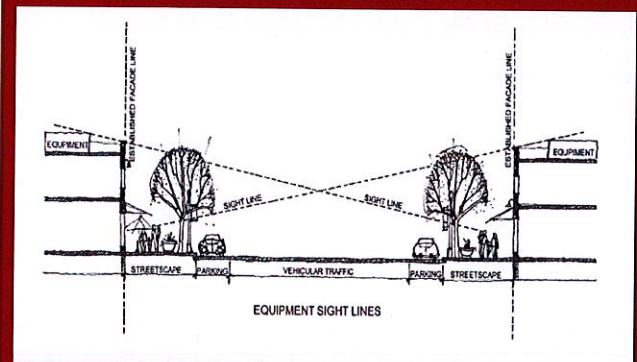
The original roof line and cornice treatment should be maintained and/ or restored

## Mechanical, Electrical, and Communications Equipment:

Mechanical, Electrical and Communications Equipment should be situated or relocated so it is not readily visible from a public way. Any mechanical, Electrical and Communications equipment should not be installed on primary facades. Air conditioning equipment should be screened from view with screening acceptable and in accordance with the building's architectural character.

Low profile mechanical units may be appropriate on rooftops that are not visible from the street.

Skylights or solar panels should also have low profiles so that they are not visible from the public right-of-ways. They should be installed in a manner which minimizes damage to historic materials. Attention should be given to mechanical equipment located at street level. If the equipment cannot be relocated, it should be screened in a way appropriate to the streetscape.





**Historic Windows and Doors:**

Windows and Doors on buildings providing Historical Relevancy to the Village of Steger should be preserved. The number, location, size and glazing pattern should remain as originally intended and should be repaired and restored. Where Door and window deterioration mandates replacement, any new units should match the historic unit design, dimensions, and pane configurations.

**Replacement Windows:**

Replacements of windows should only be considered as a last resort. The original composition of materials shape and function should remain as originally intended. Thermal performance should be achieved via storm windows. Triple track storm windows with a factory color-coat matching the window trim are appropriate. In buildings that are fully air conditioned and the windows are not open for ventilation, interior storm windows are acceptable. Vinyl replacement windows on buildings providing historical relevance to the Village of Steger shall are not recommended.

**Street Address Numerals:**

Street address numerals should be of a simple style font, with characters not more than 4 inches high. Avoid spelling out the complete address and the use of script style fonts.

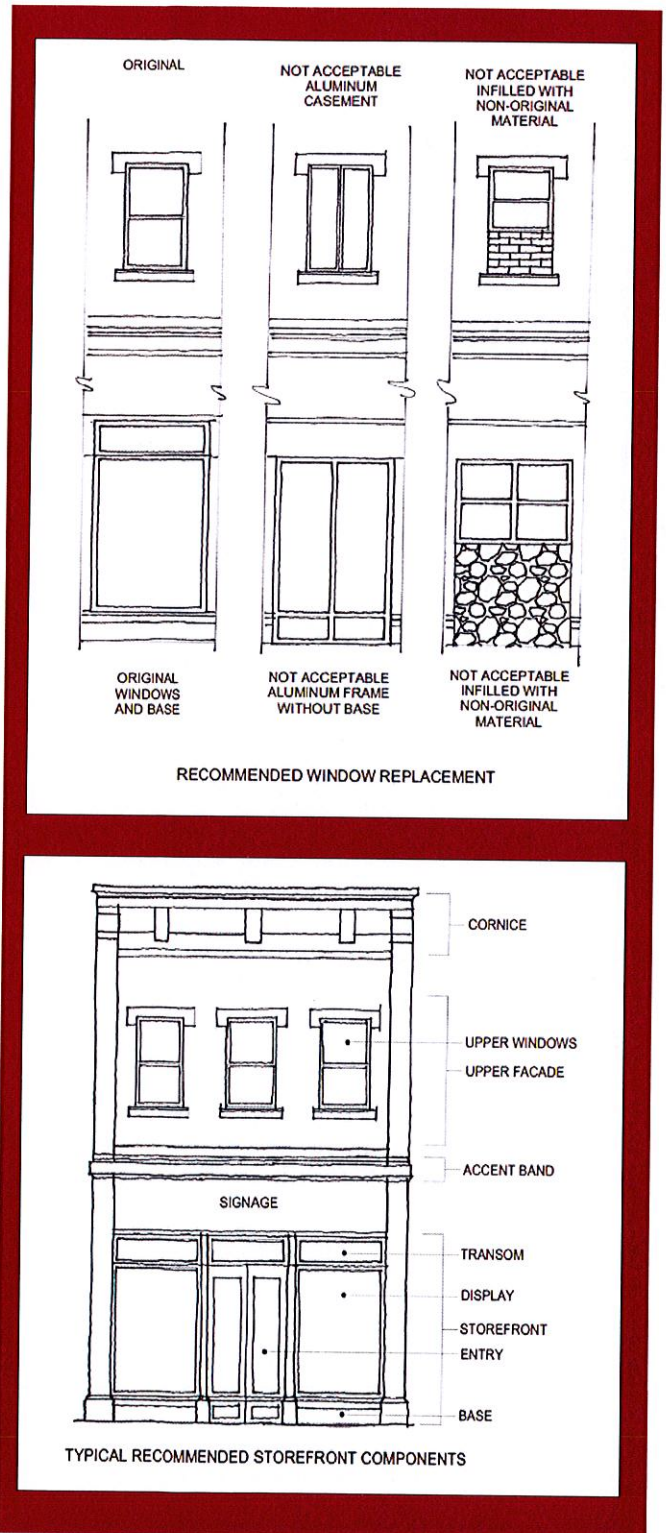
**New Openings in Existing Walls:**

In existing buildings having historical relevance to the Village of Steger creating new openings in existing walls is not appropriate and discouraged. New Openings in secondary facades are discouraged but may be considered. Where an opening is being considered on a secondary façade the new openings shall be compatible with the architectural character of the building.

**Preserving Historic Storefronts:**

The few early twentieth-century storefronts remaining within the Steger Zoning Overlay Redevelopment Project Areas should be retained and repaired. Where a storefront has been modified efforts must be made to return it to its original design. Existing viable stores and business should be improved and enhanced.

**Building Accessibility:**





Building accessibility components for individuals with disabilities should be incorporated and located to minimize visual impact on the façade. If the only possible placement of a ramp of an existing building is on a front façade they should effectively be concealed with traditional building elements to match the building's architectural character.

**Signage:**

Any existing historic signs shall be retained. Placement, materials, and design of new signs shall reflect the building's style and period. Street level signs flush or projecting shall be pedestrian oriented. Signage should avoid obscuring any of the buildings historic features and architectural details.

All signage must comply with The Village of Steger zoning ordinances and municipal codes relating to signage.

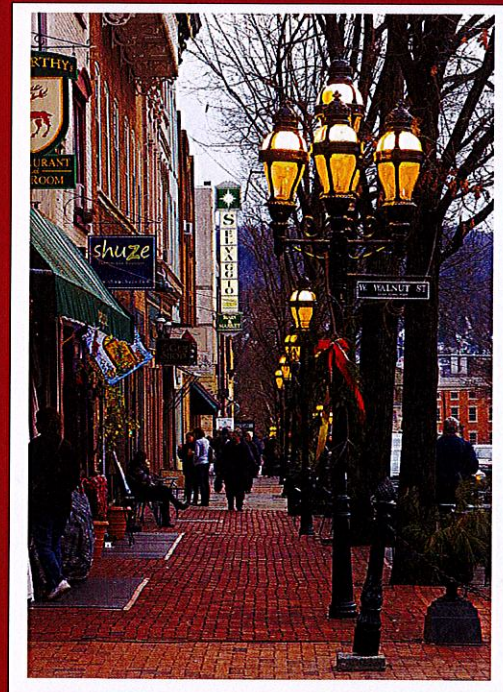
**Lighting:**

**Existing Lighting:**

There are currently no surviving historic light fixtures within the Steger Zoning Overlay Redevelopment Project Areas.

**New Lighting:**

All new lighting within the Steger Zoning Overlay Redevelopment Project Areas must comply with the Village of Steger zoning ordinances and municipal codes relating to street and building lighting. All new lighting should be simple period fixtures or unornamented modern fixtures. Polished and other highly ornamental light fixtures are not recommended and highly discouraged. Exterior spotlights and floodlights are strongly discouraged for principal facades. Sign lighting should be inconspicuous and of low light levels. Parking lot lighting should be post mounted on maximum 12-foot high posts, or building mounted. Industrial lighting producing a yellowish or pinkish light is not appropriate.





**GUIDELINES FOR NEW CONSTRUCTION:**

Guidelines for new construction apply to new construction in the Steger Zoning Overlay Redevelopment Project Areas. New construction includes additions to existing historic buildings, new structures within the Zoning Overlay district and secondary structures such as outbuildings, garages, and sheds.

**Visual Relation Between Existing and New:**

Any new buildings or additions should relate visually to adjacent buildings. New construction within the Steger Zoning Overlay Redevelopment Project Areas will be evaluated by the **Design Review Commission** based on the established guidelines for the Steger Zoning Overlay Redevelopment Project Areas. For a typical building, include its relation to its neighboring structures to each side and those directly across the street. For new construction located at a corner include its relationship to its neighboring structures and all structures at each corner of the intersection. Successful new construction is construction that is clearly modern but is compatible and sensitive to the existing built environment.

**Scale and Massing of Large Buildings:**

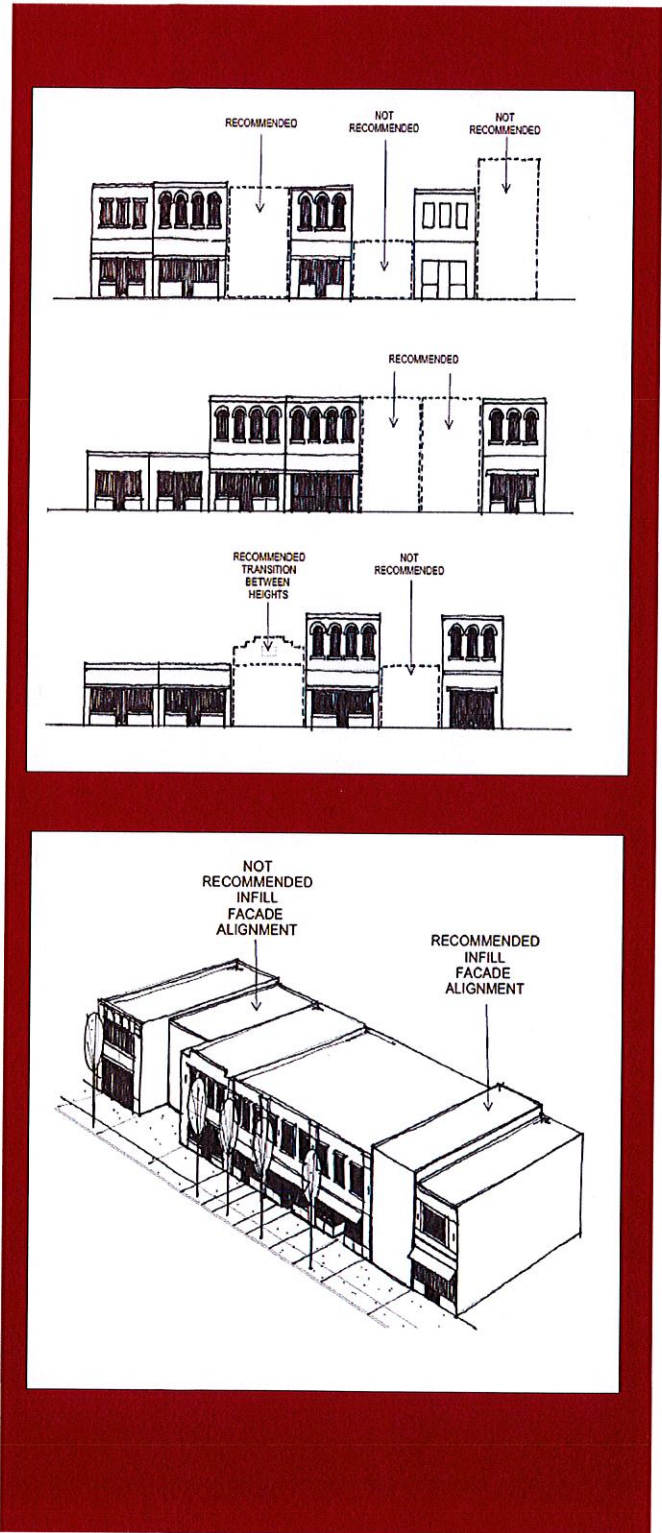
Large buildings should be designed in a way to represent a series of masses and volumes compatible in size with neighboring structures.

**Replicating Historic Structures:**

Design of new building structures should not be the exact replicas of historic buildings. New construction should be clearly modern but compatible and sensitive to the existing built environment. However new construction can be inspired by historic design and historical building elements.

**Building Placement and Setbacks:**

Historically the building use dictated the structures setback from the street. Commercial buildings such as stores, retail shops, and eateries fronted directly onto the sidewalk. New buildings or additions should be built at or near the property line to create a continuous building wall along the street. Any new construction within the Steger Zoning Overlay Redevelopment Project Areas should follow the design guidelines of the Steger Zoning Overlay Redevelopment Project Areas and comply with the Village of Steger zoning ordinances, master plan and municipal codes relating to building placement and setbacks.



# Village of Steger Zoning Overlay Design Guidelines



## Building Height and Shape:

The eave line of new proposed construction should respect the height of adjacent buildings. New buildings shall be one to three stories in height and comply with the Village of Steger zoning ordinances and master plan.

## Building width:

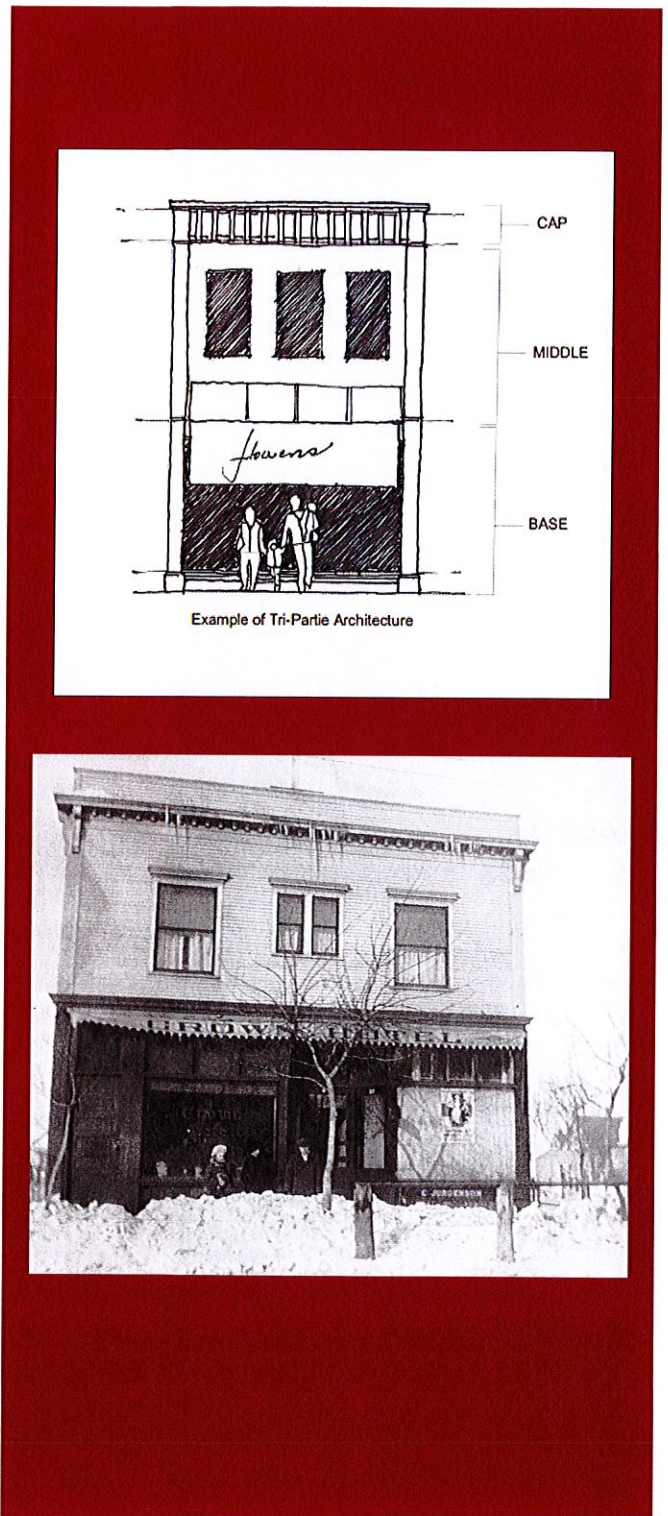
Historical photographic data within the Steger Zoning Overlay Redevelopment Project Areas show previously existing buildings filling the entire frontage along the street. New construction and additions should repeat the pattern of filling most of the street frontage of a single lot.

## Façade, Relationship of its Parts to the Whole:

New building facades within the Steger Zoning Overlay Redevelopment Project Areas should be of simple rectilinear forms composed of tri-partite architecture including a clear base, middle and cap. Expression lines or an equivalent architectural element shall delineate the base and cap of all new construction. A cornice shall delineate the cap of facades that do not use a pitched roof.

## Roof Lines and Parapets:

- The original roof line and cornice treatment should be maintained and restored
- New buildings should reflect and complement the established roof line heights and cornice treatments of adjacent existing buildings.
- Simply-shaped parapets can be used to create an interesting building profile when combined with neighboring buildings.
- Parapets should extend above the roof to hide vents, coolers, and other rooftop equipment.
- Sloped mansard, shake, or shingle roofs are inappropriate and should be avoided.





**Awnings and Canopies:**

Historically, many buildings in the Village of Steger used colorful canvas awnings, which were both functional and attractive. They protected shoppers from the elements and were an inexpensive way to provide color and vitality to the street. Awnings and canopies are still a good idea for all these same reasons.

**Roof Form and Materials:**

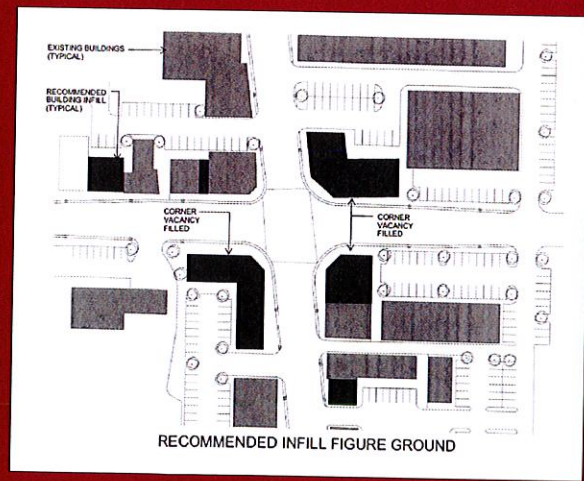
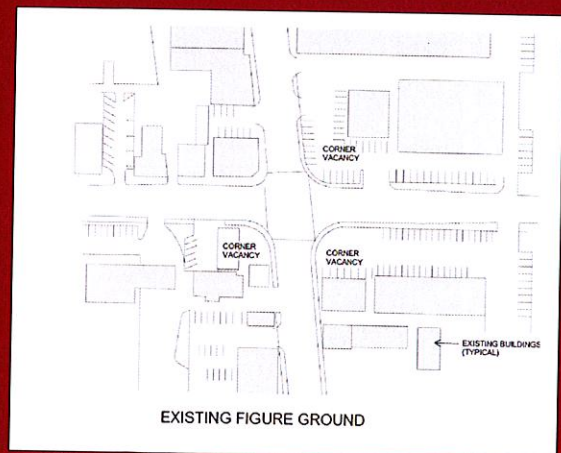
Most commercial buildings within the Steger Zoning Overlay Redevelopment Project Areas have flat or shed roofs. New construction facing a street should follow the form of existing or existing adjacent construction. Additions on a secondary façade can have a different form than that of the primary façade such as a shed or gable roof. Mansard roof forms which have been overused are not recommended for new construction or additions within the Steger Zoning Overlay Redevelopment Project Areas. The use of historical used roofing materials such as slate and standing seam is recommended for new buildings of pitched roof type. Asphalt heavyweight shingles similar in shape and color to historic materials are an acceptable alternative to expensive materials for pitched roofs. Membrane roofing is recommended for flat roof types. Roof features such as dormers and cupolas should be of historically used proportions and placement on historically acceptable pitched roofs.

**Exterior Wall Materials:**

The use of historic exterior wall materials such as brick cut stone or wood siding and their related modern detail interpretations and strongly recommended for new construction and additions. The use of vinyl, aluminum facings and fabricated plastic materials are not recommended for primary building facades but may be considered.

**Windows and Doors:**

The placement and proportions of windows and doors should relate to that of historically built storefronts of the early 1900's. It is encouraged that windows be placed in a three, four or five bay configuration on the upper façade and the use of double hung sash windows is recommended. For storefront entries and display type windows it is highly recommended to follow the display and entry configurations of early 1900's storefronts. Materials such as aluminum clad wood windows are highly





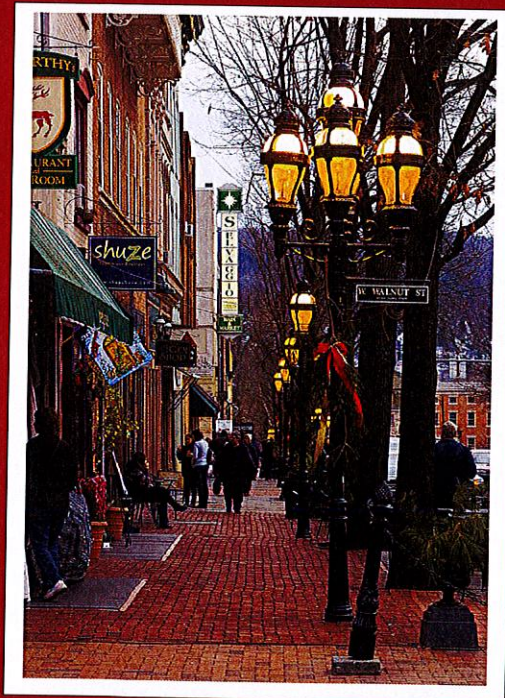
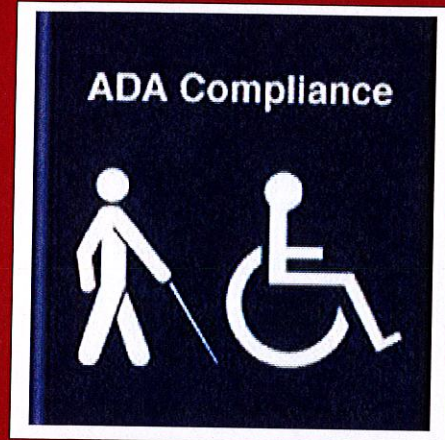
recommended. Vinyl windows are highly discouraged with aluminum frame storefront systems being an acceptable option.

**Building Accessibility:**

All new buildings with the exception of private homes by law are required to be accessible to persons with disabilities. New constructions within the Steger Zoning Overlay Redevelopment Project Areas are recommended to have their integral accessibility features within the building not at the building exterior.

**Lighting:**

All new lighting within the Steger Zoning Overlay Redevelopment Project Areas must comply with the Village of Steger zoning ordinances and municipal codes relating to street and building lighting. All new lighting should be simple period fixtures or unornamented modern fixtures, lighting should be consistent throughout the Steger Zoning Overlay Redevelopment Project Areas. Polished and other highly ornamental light fixtures are not recommended and highly discouraged. Exterior spotlights and floodlights are strongly discouraged for principal facades. Sign lighting should be inconspicuous and of low light levels. Parking lot lighting should be post mounted on maximum 12-foot high posts, or building mounted. Industrial lighting producing a yellowish or pinkish light are not appropriate.







**GUIDELINES FOR STREETSCAPES:**

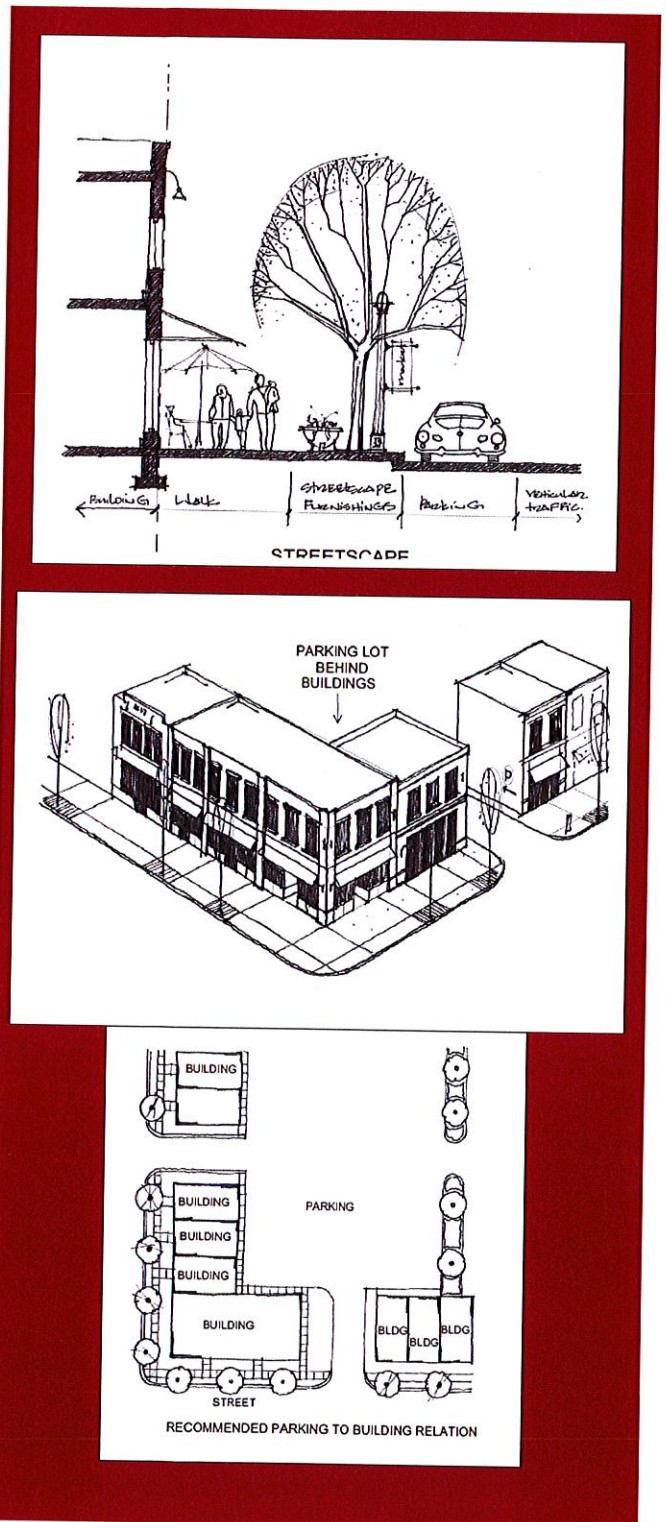
Existing streetscape surfaces within the Chicago Road Zoning Overlay redevelopment Area are deteriorating and exhibit significant cracking and uneven surfaces. Street scape surfaces should be improved in accordance with the design guidelines and the Village of Steger’s zoning ordinances.

The creation of an established street scape within the Steger Zoning Overlay Redevelopment Project Areas is recommended. Streetscapes must comply with the Village of Steger zoning ordinances and municipal codes. The streetscape is the space formed by the buildings, street, sidewalks, and site furnishings consisting of planters, benches, signage and accessory items. New sidewalk paving material should be consistent throughout the Steger Zoning Overlay Redevelopment Project Areas. Curb cuts and off street parking should be carefully planned, they should be located off side or rear yards, not the street. Landscape planters made of tinted precast or red clay are highly recommended. Street furniture such as: benches, tables, bicycle racks, and trash receptacles should be simple in character and constructed of painted steel or wood and compatible with that of the entire Steger Zoning Overlay Redevelopment Project Areas.

**Parking:**

Adequate parking is essential within the Chicago Road Zoning Overlay Redevelopment area. Curb parking should continue to be made available. New off-street parking lots should be designed and located so that they are safe, efficient, complement the design guidelines character of the Zoning Overlay Redevelopment Project Areas.

- Where possible, parking lots should be located at mid-block; corner parking lots are discouraged.
- The number of access drives along the corridor should be minimized; the design of access drives should be in conformance with IDOT standards.
- All parking areas should be paved, striped, and have surfaces in good condition.
- Decorative fencing, compatible with streetscape improvements or the character of the district, should be installed along the edges of parking lots that border public sidewalks and private properties.
- Where possible, existing parking lots within the same block should be combined and redesigned to increase efficiency and parking capacity.



## Village of Steger Zoning Overlay Design Guidelines



- All private landscaping should be pruned and maintained on a regular basis.
- Decorative fencing and landscaping should be used to screen unsightly storage, garbage receptacles, and utilities from public view.
- Building setbacks, buffering and parking should be coordinated with the Village of Steger's Master plan and zoning ordinances.

### Plant Materials:

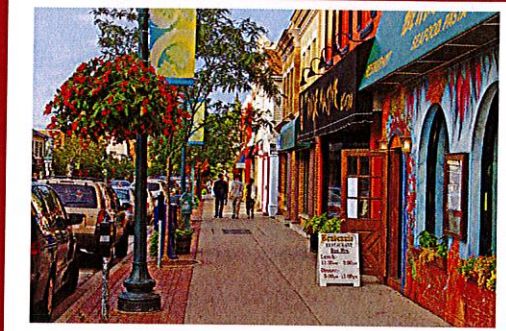
Planting material should provide seasonal color, and variety. Plantings should include annual and perennial flower displays, evergreens, shade and ornamental trees. Planting material shall be accordance with the Village of Steger's zoning ordinances and acceptable plant types. Refer to the Village Of Steger zoning ordinance for a list of acceptable shade and ornamental trees allowed within the boundaries of the Chicago Road Zoning Overlay Redevelopment area

### Landscape Planters and Window Boxes:

Landscape planters made of tinted precast and red clay are highly recommended and should be consistent throughout the Steger Zoning Overlay Redevelopment Project Areas. Planters should be used where there is insufficient space for ornamental trees and shrubs.

### Street Furniture:

All new streetscape furnishings within the Steger Zoning Overlay Redevelopment Project Areas should be simple period fixtures or unornamented modern fixtures and consistent throughout the Zoning Overlay. All streetscape furniture shall be placed to facilitate maintenance, serviceability, snow removal and minimize sidewalk clutter.





## THE DESIGN REVIEW PROCESS

### Eligible Project Guidelines:

Obtain and review Chicago Road Tax  
Increment Financing Redevelopment  
Project Area Eligible Guidelines from:  
Village of Steger  
3320 Lewis Avenue  
Steger, IL 60475

### Assistance Application:

Obtain, review, complete and return  
Chicago Road Tax Increment  
Financing Redevelopment Project  
Area Assistance Application from/to:  
Village of Steger  
3320 Lewis Avenue  
Steger, IL 60475





APPENDIX A - PROPOSED BOUNDARY MAP



## APPENDIX B - GLOSSARY OF ARCHITECTURAL TERMS

### a

**architrave.** 1) The lowest horizontal element of a classical entablature; 2) The ornamental moldings (trim) around windows, doors, and other wall openings.

**asymmetrical.** Not symmetrical

### b

**baluster.** A shaped, short vertical member, often circular in section, supporting a railing or capping.

**balustrade.** An assembly consisting of a railing or capping supported by a series of balusters.

**bay.** A regularly repeated main division of a building design. A building whose facade is five windows wide may be described as a five-bay building.

**bay window.** A window structure projecting beyond the main wall plane; if attached to the building above ground level, properly called an oriel.

**blind.** A louvered shutter that excludes vision and direct sunlight, but not indirect light and air, from a house.

**bond.** The setting pattern of bricks or stones, such as common bond, Flemish bond, etc.

**bracket.** A projecting support placed under an architectural overhang such as a cornice; often ornate.

### C

**capital.** The top member (cap) of a column.  
**casement sash, casement window.** A window sash which is side-hinged; a window having casement sashes.

**casing.**  
The exposed architectural trim or lining around a wall opening.

**clapboards.** Narrow boards applied horizontally to an exterior wall, each of which overlaps the one below it to create a continuous skin over the wooden frame.

**classical.** 1) Decorative elements deriving directly or indirectly from the architectural vocabulary of ancient Greece and Rome; 2) architectural harmony based on the principles of ancient Greek and Roman architecture.

**column.** A long vertical structural member that supports a load; in classical terms, a cylindrical support having a base, shaft, and capital. (Note: In the Doric order the column has no base.)

**cornice.** Strictly, the upper projecting part of an entablature; in carpenter/builder terminology, any projected molding ("crown molding") which crowns or finishes a horizontal fascia; the exterior assembly which closes the joint between the wall and roof of a building.

### d

**Doric.** One of the five classical orders, column usually without a base and with a simple capital.

**dormer.** A roofed structure with a vertical window that projects from a pitched roof.

**double-hung sash window.** A window with two vertical sliding sashes, each closing half of the window opening.

### e

**eave.** The lower part of a roof that projects beyond the wall.

**elevation.** The perpendicular view of a side of a building; an accurate drawing of one side of a building that represents its true dimensions in the plane perpendicular to the line of sight.

**ell.** A wing or addition extended at a right angle from the principal dimension of building, resulting in an "L" shaped plan.

**entablature.** The horizontal member carried by columns, composed of architrave (bottom), frieze, and cornice (top).

### f

**facade.** The exterior front face of a building; usually the most ornate or articulated elevation.

**fanlight.** A half-circular or half-elliptical window; often placed over a door.



**fascia.** Any long, flat horizontal band or member.

**fenestration.** The arrangement and design of window and door openings in a building.

**French door.** A door with a top and bottom rail, stiles (sides), and glass panes throughout most of its length. frontispiece. An ornamental portal or entrance bay around a main door.

## g

**gable.** The vertical triangular shape of a building wall above the cornice height, formed by two sloping roof planes.

## h

**header.** In brick masonry, a brick laid so that its end is exposed in the finished wall surface.

**hip.** The external angle at the intersection of two roof planes; a hip roof has roof planes that slope toward the eaves on all sides of the building.

**hood.** A projecting cover placed over an opening to shelter it.

## i

**in kind.** Replacement building component matching the original component in material, size, profile, texture, and color.

## l

**light.** A pane of glass installed in a window sash.

**lintel.** A horizontal structural member that spans an opening, for example a window lintel.

## m

**Mansart.** A roof that is double pitched, the lower being much steeper, designed to allow a full story height within the attic space.

**mass.** Bulk or three-dimensional size of an object. massing. The combination of several masses to create a building volume; organization of the shape of a

building, as differentiated from wall treatment, fenestration, etc.

**mullion.** A vertical member separating windows, doors, or panels set in series; often used for structural purposes.

**muntin.** A slender member separating and encasing panes of glass in a window sash.

## O

**order.** In classical architecture, a column with base (usually) shaft, capital, and entablature, embellished and proportioned according to one of the accepted styles - Tuscan, Doric, Ionic, Corinthian, and Composite.

**oriel.** A window structure projecting beyond the main wall plane attached to the building above ground level.

## P

**Palladian window.** A three-part window consisting of a prominent center window unit, often arched, flanked by smaller windows.

**pane.** A flat sheet of glass cut to size for glazing use in a window; also called a light.

**parapet.** A low guarding wall at the edge of a roof or balcony; the portion of a fire wall or party wall above the roof level.

**parge.** A coating of cement-based mortar (stucco) applied over rough masonry work.

**pediment.** In classical architecture, the triangular gable end of a roof above a horizontal cornice; a similar triangular form over a door or window.

**pergola.** A garden structure with an open woodframed roof, often latticed.

**picket fence.** A fence formed by a series of vertical pales, posts, or stakes and joined together by horizontal rails.

**pilaster.** A flat vertical element applied to the wall surface that simulates a classical column.

**pitch, roof.** The slope of a roof; usually expressed as a ratio of vertical rise to horizontal run (inches vertical in 12 inches horizontal).

## Village of Steger Zoning Overlay Design Guidelines



**plan.** A two-dimensional view of a building, or horizontal section of it, seen from above; hence, a precise drawing showing the arrangement of design, including wall openings and dimensions.

**porch.** A structure attached to a building to shelter an entrance or to serve as a semi-enclosed space, usually roofed and generally open-sided.

**proportion.** The relation of one dimension to another; usually described as a numerical ratio; in architecture, proportions determine the creation of visual order through coordination of shapes in a design.

### Q

**quoin.** A masonry (or simulated masonry) unit applied to the corner of a building; often slightly projecting.

### R

**rhythm.** In architecture, the repeated pattern of building elements such as doors and windows.

**ridge, ridge line.** The horizontal line formed by the juncture of the upper edges of two sloping roof planes.

### S

**sash.** The movable framework holding the glass in a window.

**segmental arch.** An arch in which the arched portion is less than a semi-circle.

**shed roof.** A single-pitched roof over a small room; often attached to a main structure.

**shutter.** An external movable screen or door used to cover a wall opening, especially a window; originally for security purposes; often confused with louvered blinds.

**sidelight.** A framed area of fixed glass alongside a door or window opening.

**sill.** The horizontal lower member of a window or other frame.

**single pile.** A floor plan that is one room deep.

**site plan.** An accurate scaled drawing of a site (lot) as if seen from above, describing the property boundary and orientation, the location of buildings, driveways, walks and other constructed site improvements, the retained vegetation, and new plantings and finished grade contours.

**skylight.** A glazed opening in a roof plane that admits light.

**stoop.** An uncovered platform and steps at an entrance.

**streetscape.** A setting or expanse consisting of the street, landscaping, and buildings along a street, as seen by the eye in one view.

**stretcher.** A brick laid with the long side visible in the finished work.

**string course.** A horizontal course of masonry or wood trim which projects from a wall.

**symmetrical.** A similarity of form or arrangement on either side of a dividing line.

### t

**transom.** A horizontal bar of wood or stone separating a door from a transom window above it.

### V

**vernacular.** A mode of building based on regional forms and materials.

### W

**water table.** A horizontal course of masonry or wood trim separating the foundation walls from the exterior walls above.

RESOLUTION NO. 1137

STATE OF ILLINOIS        )  
                                  )  
COUNTIES OF COOK        )  
                                  )  
                                  )  
                                  )

A RESOLUTION PROCLAIMING THE MONTH OF MAY AS  
CONSTRUCTION SAFETY MONTH FOR THE VILLAGE OF STEGER,  
ILLINOIS.

**WHEREAS**, the Chicagoland Associated General Contractors (“CAGC”) has been the premier commercial industry organization in Chicago since 1906; and

**WHEREAS**, with the merger of the Fox Valley AGC, the CAGC is now the leading voice for the construction industry in Chicago and surrounding communities; and

**WHEREAS**, construction in the Chicago area is at an all-time high, meaning more workers are on job sites, which increases the possibility of construction site accidents and injuries; and

**WHEREAS**, the CAGC is committed to promoting job site safety for the Village’s residents who work on construction sites daily, through numerous programs, training videos, safety forums and an alliance with the Occupational Safety and Health Administration (OSHA); and

**WHEREAS**, the CAGC’s Safety and Health Committee planned and led the Chicago construction industry’s first ever “Safety Stand Down” program in 2013; and

**WHEREAS**, the CAGC will continue its efforts through the 2019 “Stand For Safety” program, which is expected to reach more than 8,000 construction workers on hundreds of job sites the week of May 6 to May 10, 2019; and

**WHEREAS**, in addition to the May “Stand For Safety” week, the CAGC will hold its “Spring Summit and Safety Awards” program on May 16, 2019, will hold a “Safety For the Non-Safety Personnel” educational program, and will introduce a new Job Site Safety Poster program; and



**WHEREAS**, the CAGC is promoting construction site safety in every community for jobs of all sizes with the critical goal that every construction worker returns home each night to their families;

**NOW, THEREFORE, BE IT RESOLVED** by the Village President and the Board of Trustees of the Village of Steger, Counties of Cook and Will, State of Illinois, as follows:

**Section 1:** That the Village President and members of the Board of Trustees of the Village (collectively, the "Corporate Authorities") on this 6<sup>th</sup> day of May, 2019, hereby extend the Corporate Authorities' sincere gratitude for the CAGC for protecting the Village's residents in the workplace, and proclaim the month of May as "Construction Safety Month" in the Village of Steger.

**Section 2:** That a suitable copy of this Resolution be prepared and presented to the CAGC as a token of the Corporate Authorities' appreciation.

Dated this 6<sup>th</sup> day of May, 2019.

By: Kenneth A. Peterson, Jr.  
Print Name – Village President

\_\_\_\_\_  
Sign – Village President

Attest: Joseph M. Zagone, Jr.  
Print Name – Village Clerk

\_\_\_\_\_  
Sign – Village Clerk

{SEAL}

Roll Call Vote:

Voting in favor:  
Voting against:  
Not voting:

RESOLUTION NO. 1138

STATE OF ILLINOIS        )  
  )  
COUNTIES OF COOK        )  
  )  
  )  
  )

**AUTHORIZING THE ILLINOIS COALITION OF LOCAL GOVERNMENTS  
AND ITS AGENTS OR CONTRACTORS TO ACT AS THE THIRD-PARTY  
ADMINISTRATOR FOR THE COMPLIANCE REVIEW, COLLECTION, AND  
DISTRIBUTION OF THE TWO PERCENT (2%) FOREIGN FIRE  
INSURANCE COMPANY TAX DUE TO THE VILLAGE OF STEGER,  
ILLINOIS.**

**WHEREAS**, the Village of Steger, Counties of Cook and Will, State of Illinois (the "Village") is a duly organized and existing municipality and unit of local government created under the provisions of the laws of the State of Illinois, and is operating under the provisions of the Illinois Municipal Code, and all laws amendatory thereof and supplementary thereto, with full powers to enact ordinances and adopt resolutions for the benefit of the residents of the Village; and

**WHEREAS**, the President and the Board of Trustees of the Village (the "Village Board" and with the President, the "Corporate Authorities") are committed to the efficient operation of government; and

**WHEREAS**, the Illinois Coalition of Local Governments ("ICLG") has developed a program specifically for municipalities which will review compliance, provide reports, and distribute the foreign fire insurance company tax due to municipalities and ICLG desires to provide this program to the Village; and

**WHEREAS**, the ICLG program will save foreign fire insurance company tax funds, will identify new foreign fire insurance company tax funds and is beneficial to the Village; and

**WHEREAS**, the Village has not previously received the foreign fire insurance company tax compliance review services or transparency to be provided by ICLG; and

**WHEREAS**, the Corporate Authorities desire and find it to be in the best interests of the Village to enter into an agreement with the ICLG by adopting this Resolution.

**NOW, THEREFORE, BE IT RESOLVED** by the President and the Board of Trustees of the Village of Steger, Counties of Cook and Will, State of Illinois, as follows:

**ARTICLE I.  
IN GENERAL**

**SECTION 1: Incorporation Clause.**

The Corporate Authorities hereby find that all of the recitals hereinbefore stated as contained in the preambles to this Resolution are full, true and correct and do hereby, by reference, incorporate and make them part of this Resolution as legislative findings.

**SECTION 2: Purpose.**

The purpose of this Resolution is to authorize ICLG to act as the third-party administrator ("TPA") for the compliance review, collection, and distribution of the two percent (2%) foreign fire insurance company tax due to the Village;

**ARTICLE II.  
AUTHORIZATION/AGREEMENT**

**SECTION 3: Rescission of Prior Resolutions and Agreements.**

The Village rescinds any prior adopted resolution or approved agreement with any prior organization, designated agent, clearinghouse, or TPA previously authorized to act on behalf of the Village related in any way to the foreign fire insurance company tax. ICLG shall remain the sole TPA and designated agent of the Village until notified by the Village by adopted resolution rescinding this agreement and engagement. Should the Village repeal this Resolution or adopt a resolution rescinding this agreement and engagement ("Termination"), the Village shall provide ICLG ninety (90) days written notice prior to such Termination. The Village shall pay ICLG all

compensation set forth herein for any work that ICLG began under this Resolution prior to or after written notice of Termination.

**SECTION 4: Authorization.**

ICLG is hereby authorized by the Corporate Authorities to act as its sole TPA and designated agent to conduct compliance reviews of foreign fire insurance company tax books and records and receive and examine the reports and payments of the two percent (2%) foreign fire insurance company tax tendered to the Village by foreign fire insurance companies writing such business on property located within the limits of the Village. The Village shall provide ICLG all information requested by ICLG and access to information required to conduct such compliance reviews.

**SECTION 5: Records.**

ICLG shall keep an accurate and complete record of all such tax payments received or reviewed from foreign fire insurance companies and the distribution of such payments to the Village and that all such records shall be open to inspection by elected officials or authorized agent(s) of the Village during reasonable office hours.

**SECTION 6: Exclusivity; Compliance Review Services; Fees.**

The Village hereby agrees and engages ICLG to act as its sole TPA and authorized agent for:

(a) Tax Filing & Collection Services and Fees. ICLG shall collect the rightfully imposed foreign fire insurance company tax of two percent (2%) per annum of the gross receipts received as premiums on fire or other insurance policies on properties within the jurisdiction. The Village agrees to pay ICLG a percentage equal to fifty percent (50%) of what it was paid in 2018 of the taxes actually collected as ICLG's annual tax collection fee. ICLG shall retain all rights, at its sole discretion and for its benefit, to set reasonable prices to recover transaction fees or cost(s), including

fees for processing electronic payments, from end user foreign fire insurance companies.

(b) Compliance Review Services and Fees. ICLG shall conduct compliance reviews of foreign fire insurance companies and tax on the gross receipts received, not received, or that should be received as premiums on fire insurance policies on properties within the Village to identify any past, present, and future unpaid monies due to the Village. Federal, Illinois state law, local laws, and the Village's own local ordinances, resolutions, motions ("Ordinances"), or data shall be used by ICLG to conduct compliance reviews. ICLG will present in writing any findings of monies due or potentially due to the Village ("Findings"). Where already authorized by existing Federal, Illinois state law, local laws, and the Village's own local Ordinances, this Resolution authorizes ICLG to correct any prospective errors and to make a reasonable effort to collect retrospective monies due to the Village. Additionally, ICLG shall review the Village's Ordinances and operations and shall present Findings to the Village to maximize revenues, and where such Findings requires, but is not limited to, a change of any ordinances, business practices, or technology, ICLG shall only implement such change after the Village has reviewed and agreed to any such change in writing. The Village agrees to review any Findings within thirty (30) days of receipt from ICLG.

If a compliance review conducted under this Resolution and agreement results in new revenues or Findings to the Village, whether implemented in whole or in part by ICLG, the Village or an insurance company/taxpayer, the Village agrees that it shall pay ICLG the fees set forth herein. If a compliance review results in no new revenues or Findings, the Village shall pay no fee to ICLG for that compliance review. Compliance review fees are billed only after completion of a compliance review, submission of Findings to the insurance company/taxpayer, correction and

implementation of the Findings by the insurance company/taxpayer, and receipt of the new revenues by the Village.

Fees for compliance review services are as follows: for every one-hundred dollars (\$100.00) of new revenue returned to the Village, ICLG shall be paid as follows:

- (i) Eleven dollars (\$11.00) for geocoding and address compliance review;  
and,
- (ii) Eleven dollars (\$11.00) for insurance company compliance review;  
and,
- (iii) Eleven dollars (\$11.00) for insurance premium compliance review.

Fees for compliance review services shall not exceed a total of thirty-three dollars (\$33.00) for every one-hundred dollars (\$100.00) of new revenue returned to the Village. Fees for compliance review services herein shall apply to new monies received from each error corrected per insurance company/taxpayer for the first two (2) consecutive reporting years beginning with receipt of the first year of new revenue by the Village and shall include any retrospective monies paid to the Village. One hundred percent (100%) of all new revenue generated by ICLG compliance reviews shall flow to the Village upon completion of payment of the fees set forth herein. Any fees due to ICLG under this Section shall be reported to the Village and shall be deducted prior to distributing the proceeds.

**SECTION 7: Required Reporting.**

Within thirty (30) days of receipt of any foreign fire insurance company tax, both ICLG and the Village shall notify in writing the treasurer of the Village's Foreign Fire Insurance Board and shall post at least the following information on their respective websites:

- (a) the total amount of the tax collected on behalf of the Village;
- (b) the total administrative fees, if any, charged to the Village;

(c) the aggregate amount of taxes collected on behalf of all municipalities;  
and

(d) the aggregate amount of administrative fees, if any, charged to all municipalities.

All written notifications to the Village's Foreign Fire Insurance Board shall be made to the treasurer at the address specified in Exhibit A to this Resolution.

**SECTION 8: Additional Terms.**

The Village accepts and agrees that it shall abide by any documents published on the ICLG website at [www.illinoislocalgov.org](http://www.illinoislocalgov.org) and updated from time to time by ICLG, including, but not limited to the following: Terms of Use, User Acceptance Agreement, End User License Agreement, Terms and Conditions, Disclaimer, and Privacy Policy.

**ARTICLE III.  
HEADINGS, SAVINGS CLAUSES, PUBLICATION,  
EFFECTIVE DATE**

**SECTION 9: Headings.**

The headings of the articles, sections, paragraphs and subparagraphs of this Resolution are inserted solely for the convenience of reference and form no substantive part of this Resolution nor should they be used in any interpretation or construction of any substantive provision of this Resolution.

**SECTION 10: Severability.**

The provisions of this Resolution are hereby declared to be severable and should any provision of this Resolution be determined to be in conflict with any law, statute or regulation by a court of competent jurisdiction, said provision shall be excluded and deemed inoperative, unenforceable and as though not provided for

herein, and all other provisions shall remain unaffected, unimpaired, valid and in full force and effect.

**SECTION 11: Superseder.**

All code provisions, ordinances, resolutions, rules and orders, or parts thereof, in conflict herewith are, to the extent of such conflict, hereby superseded.

**SECTION 12: Publication.**

A full, true and complete copy of this Resolution shall be published in pamphlet form or in a newspaper published and of general circulation within the Village as provided by the Illinois Municipal Code, as amended.

**SECTION 13: Effective Date.**

This Resolution shall be effective and in full force immediately upon passage and approval.

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PASSED this \_\_\_\_ day of May 2019.

\_\_\_\_\_  
Joseph M. Zagone, Jr., Village Clerk

APPROVED this \_\_\_\_ day of May 2019.

\_\_\_\_\_  
Kenneth A. Peterson, Jr., Village President

Roll Call Vote:

Voting in favor:

Voting against:

Not voting:

**EXHIBIT A**

**Foreign Fire Insurance Board Treasurer Information**

Municipality Name: Village of Steger, Illinois	
Foreign Fire Insurance Board Treasurer Name:	Aaron Anderson
Treasurer Address City, State, and Zip:	3320 Lewis Avenue Steger, IL 60475
Treasurer Email Address:	aanderson@villageofsteger.org
Treasurer Work Phone Number:	708.754.2625
Treasurer Mobile Phone Number:	